

Section 8 - Rules Applicable to Resource Consents

Section 8 - Index

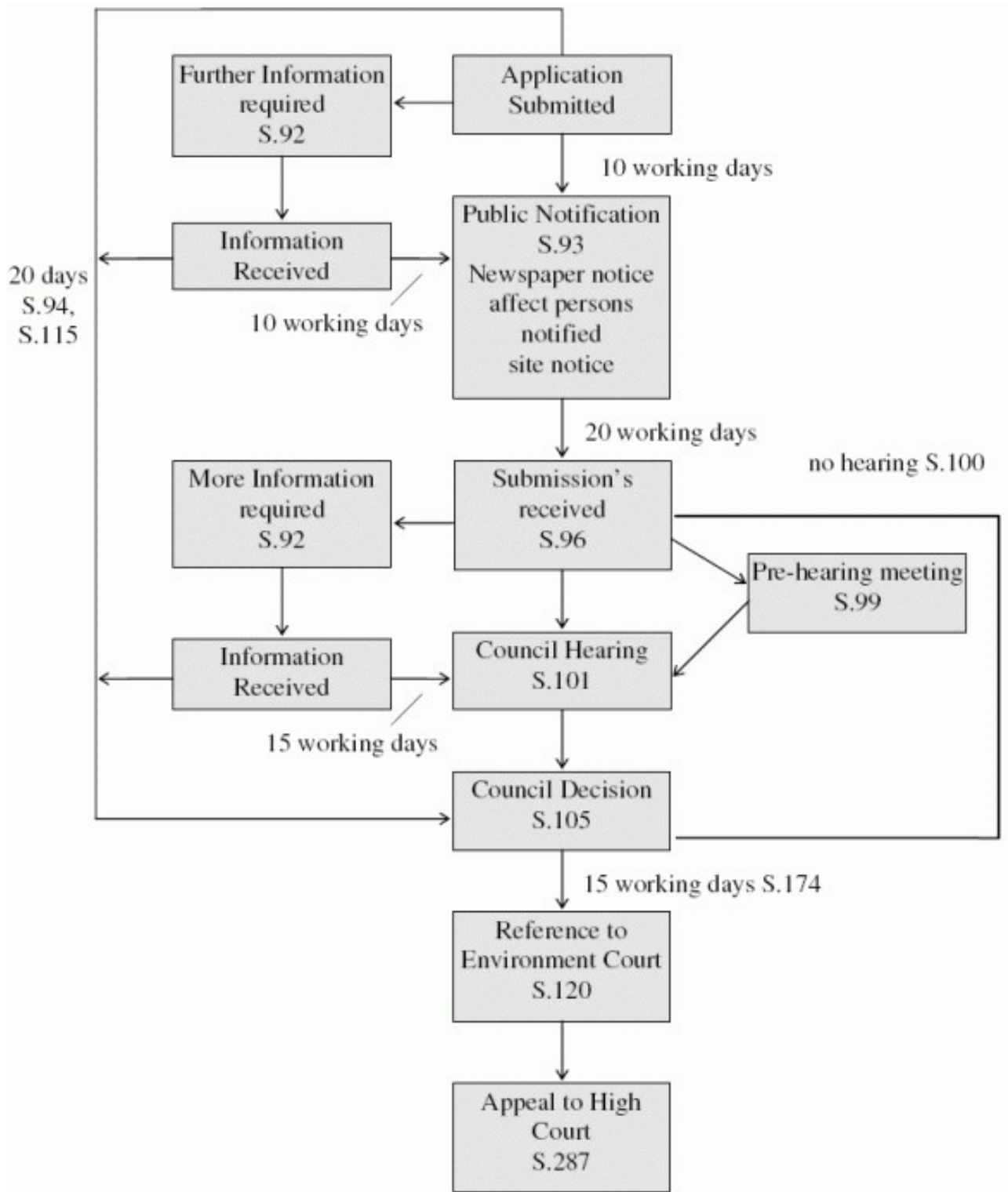
800	INTRODUCTION
	Resource Consent Procedure Diagram
810	DELEGATIONS
811	Staff
812	Review
820	NOTIFICATION OF APPLICATIONS
821	Introduction
822	Guidelines for Non-Notification
823	Determining Minor Adverse Effects
824	Presumption in Favour of Public Notification
825	Presumption in Favour of Public Non-Notification
830	RULES FOR ACTIVITY STATUS OR CONSENT CATEGORIES
831	Permitted Activities
832	Controlled Activities
833	Restricted Discretionary Activities
834	Discretionary Activities
835	Non-Complying Activities
836	Prohibited Activities
837	Plan Changes
840	INFORMATION REQUIREMENTS
841	Legal Information
842	Site and Locality Characteristics
843	Description of Proposal
844	Other Resource Consents Required
845	Plans and Details
846	Heritage Resources
847	Written Approvals
850	ASSESSMENT CRITERIA
851	All Discretionary Activities
852	Housing in the Housing Zone - Discretionary Activity
853	Houses in the Coastal Zone - Controlled Activity
854	Thames Heritage Design Criteria (Controlled/Discretionary Activities)
	Thames Heritage Commercial Buildings Diagrams
855	Coromandel Heritage Design Criteria (Controlled/ Discretionary Activities)
	Coromandel Heritage Commercial Buildings Diagrams
860	AMENITY VALUES AND LANDSCAPE CHARACTER: GUIDELINES
861	Moehau Character Area
862	Whangapoua Character Area
863	Coromandel Character Area
864	Whitianga Character Area
865	Thames Character Area
866	Tairua Character Area
867	Whangamata Character Area
868	Puriri Character Area

800 - Introduction

- .1 The following two types of resource consent are dealt with in this Plan:
 - .1 Land use consent
 - .2 Subdivision consent
- .2 Discharge and coastal permits are resource consents issued by the Regional Council.
- .3 Section 139 of the Resource Management Act provides for certificates of compliance. A certificate of compliance states that a particular proposal or activity is permitted or could be lawfully carried out without a resource consent on the date of receipt of the request by the Council. A certificate of compliance is deemed to be a resource consent.
- .4 Resource consents are required for:
 - .1 Controlled activities
 - .2 Discretionary activities (including restricted discretionary activities)
 - .3 Non-complying activities
- .5 Application procedures and statutory time periods for processing are shown in the flow chart on the following page.

Resource Consent Procedure Diagram

RESOURCE CONSENT PROCEDURE



810 - Delegations

811 Staff

Certain decisions have been delegated by Council to specific staff. This has been done in order to speed up the consent process. The circumstances under which delegation to waive public notification of applications are set out in Section 820 to 825 of the Plan.

812 Review

All staff delegations may be reviewed by Council if requested. There is a process under the Act for reviewing staff decisions and fees are payable by the applicant for the review. These fees cover application processing and hearing costs.

820 - Notification of Applications

Introduction

Section 94 of the Act sets out the circumstances under which the public notification of an application may be waived.

Because of the large number of applications processed in a year, it would be impractical to refer to a committee every application lodged with Council. Therefore Council has delegated much of the processing of applications to its staff. This includes the delegation to decide whether to grant consent to certain applications.

The instrument of delegation may be changed by Council from time to time, and does not form part of this District Plan.

The circumstances under which public notification will be waived are set out principally in Section 94 of the Act.

All delegations to staff are reviewable by Council. This safeguards the public (including the applicant), the staff member exercising the delegation and the Council from claims of unreasonable or unfair decision making. The Act sets out the rights of applicants to review staff decisions and the process which must be followed, as well as the process for delegating powers to staff, committees of Council, iwi, or others; see Section 34 of the Act.

822 - Guidelines for Non-Notification

In determining those persons that may be adversely affected by the granting of a resource consent the Council will consider the Plan's objectives and policies and reasons for the rules, and (where appropriate) the effect on:

- .1 those persons living in residential properties adjacent or near to any application site;
- .2 those persons who own or lease land that is adjacent or near to any application site and whose use of that land could be detrimentally affected by that application;
- .3 those tangata whenua of an area whose cultural values could be adversely affected by any application;
- .4 those persons or organisations whose use or enjoyment of an area could be adversely affected by any application;
- .5 any adjacent territorial authority or the regional council;
- .6 any Minister of the Crown with statutory responsibilities in respect of the application site or any adjacent area; and
- .7 any other person who the Council considers relevant in the circumstances.

823 - Determining Minor Adverse Effects

In determining whether there is more than a minor adverse effect on the environment through the granting of a resource consent, the Council will consider the Plan's objectives, policies and reasons for the rules, and (where appropriate):

- .1 the degree of non-compliance with any rule in the Plan and the environmental outcome sought by that rule;
- .2 the frequency of any effect;
- .3 the area influenced by any effect;
- .4 the timing of any effect;
- .5 the sensitivity of surrounding uses to that effect; and
- .6 any other aspect of the effect considered relevant in particular circumstances.

824 - Presumption in Favour of Public Notification

Specific locations in which there is a presumption in favour of public notification are:

824.1

Land in the beach amenity policy area where the proposal is for a building that exceeds 7 metres in height:

824.2

Subdivision or development of land which is a controlled activity within the Matarangi Structure Plan where public amenity values may be compromised; or where the purpose of the structure plan may be compromised:

824.3

Waiver or reduction of a front yard on lots fronting Matarangi Drive within the structure plan area at Matarangi:

824.4

Any application to construct a building in the Purangi Estuary building setback or yard applying to lots fronting the Purangi Estuary in the Cooks Beach Purangi Road structure plan.

825 - Non-Notification

Subject to any special circumstances, the written approval of affected persons will not be necessary in respect of the following activities, and applications need not be notified:

825.1

Relocated buildings being considered under Rule 514.2.3 in cases where they do not meet the permitted activity standards of Rule 513.7.

825.2

Subdivision or development of land which is a controlled activity within the Matarangi Structure Plan.

825.3

Earthworks and land disturbance activities necessary for the construction of subdivision.

825.4

Above ground electricity reticulation (wires and support structures) provided they do not exceed:

11 metres in height in all zones and policy areas except for Rural Zone (Outside All Policy Areas); and
15 metres in the Rural Zone (Outside All Policy Areas), and in unzoned areas.

825.5

Subdivision or development of land which is a controlled activity within the area covered by the Cooks Beach Purangi Road Structure Plan.

830 - Rules for Activity Status or Consent Categories

831 - Permitted Activities

In this Plan where activities are listed as permitted, they must comply with the standards specified for that activity and any general rule.

832 - Controlled Activities

Where activities are listed as controlled, they must comply with the standards and terms specified for that activity and any general rule. Council may state matters over which it will exercise control. Controlled activities may have conditions attached to the resource consent.

833 - Restricted Discretionary Activities

Activities may be listed as restricted discretionary activities or they may fall into this category from a controlled activity status. These consents are a means of providing some flexibility to the standards specified in the Plan. Council shall restrict its discretion to those matters specified.

834 - Discretionary Activities

- .1 Activities may be listed as discretionary activities or they may fall into this category from a controlled activity status. Discretionary activities shall be assessed in terms of:
 - .1 the objectives and policies of the Plan.
 - .2 the resource management strategies of the Plan
 - .3 any relevant standards or terms,
 - .4 the assessment criteria for discretionary activities, and
 - .5 any other matter that is relevant.
- .2 Even though an activity may meet the minimum standard for discretionary activities, a higher standard may be required depending on the assessment of environmental effects.

835 - Non-Complying Activities

Where an activity is listed as non-complying, or falls into this category from another activity status, or is not specified as permitted, controlled, discretionary or prohibited, it shall be assessed in accordance with Section 104 of the Act. The Council may not grant a resource consent for a non-complying activity unless it is satisfied that:

- .1 the adverse effects on the environment will be minor or
- .2 granting the consent will not be contrary to the objectives and policies of the Plan or Proposed Plan.

836 - Prohibited Activities

A prohibited activity is an activity expressly prohibited by this Plan. Where an activity is prohibited no resource consent shall be granted.

837 - Plan Changes

- .1 District Plans are not absolutely fixed once adopted by Council. From time to time it is useful to change a District Plan.
- .2 Either the Council or any person may initiate a change to the District Plan. The process is rigorous and involves public notification of the Proposed Change.
- .3 Any person may lodge a submission on a Proposed Change. Any person may also support or oppose any submission lodged by any other person.
- .4 Before adopting any new provision, Council must be satisfied that it is necessary in achieving sustainable management of resources. It must also look at other ways of achieving the same ends, and discount them before adopting the new provisions.
- .5 The likely benefits and costs of alternatives must also be considered.
- .6 Plan Changes are usually a significant matter, and are not undertaken lightly.

840 - Information Requirements

All applications for resource consent must include an assessment of environmental effects in accordance with the Fourth Schedule of the Act. In the case of a controlled or discretionary activity, any assessment may be limited to those matters Council exercises control over or to which it has limited its discretion.

In the case of an application for a resource consent, before any work involving disturbance or excavation of the land surface, other than essential investigatory work of a minor nature is undertaken, the following information shall be provided to Council:

841 - Legal Information

The legal description, valuation number, landowner/applicant name and address, and details of any matters affecting the title to the land. This should include, but is not limited to, a copy of the Certificate of Title and any documents relating to encumbrances, covenants, easements, leases, or building line restrictions imposed on the land.

842 - Site and Locality Characteristics

A description of the land involved and its location. Such a description should be in sufficient detail to show:

- .1 existing landform (contour data), landscape features, areas of instability or areas subject to natural hazards, wetlands and waterbodies
- .2 current land use activities
- .3 the dimensions and area of the land affected
- .4 the location, type and extent of any vegetation on the land, including the specific identification of any 'protected trees'
- .5 the location, type and extent of any evidence of human activity prior to 1900, i.e. archaeological sites, historic sites (as identified in an archaeological site survey) and the location of any heritage building or structure of site of significance to tangata whenua
- .6 a geotechnical investigation report where the land has stability problems
- .7 the location of any existing buildings/structures or proposed buildings/structures on the site
- .8 for subdivision consent, plans showing the sites compliance with subdivision standards of the District Plan
- .9 the existing and proposed vehicular and pedestrian accesses
- .10 any neighbouring land that may be affected, including the location of any building, the extent of vegetation, any landform, waterbody and landuse activities
- .11 existing and proposed stormwater and sewer systems/infrastructure, power, telephone and water supply
- .12 the width and approximate grades of existing and proposed roads and accessways, and the proposed tenure and use of access lots and rights of way.
- .13 Details of any relevant heritage inventory or conservation plan that may have been prepared for the heritage item.

843 - Description Of Proposal

A description of the proposed activity, including:

- .1 the time period over which it is likely to take place
- .2 the number and extent of likely stages of the activity
- .3 the duration of work required to complete the activity or each stage
- .4 where applying for a building subject to the Coastal Zone design criteria, the building plans and any other plans that show how the building and associated works, e.g. a driveway, comply with the design principles for the zone
- .5 the extent of earthworks, including filling and excavation, illustrated by means of either cross-sections, or existing and proposed approximate contours
- .6 a management plan if appropriate.
- .7 for heritage buildings where alteration to the building fabric is proposed, details of existing and proposed materials and construction methods.

844 - Other Resource Consents Required

A statement specifying all other resource consents which may be required from any consent authority and whether they have been applied for.

845 - Plans and Details

Plans illustrating the proposal which include where appropriate:

- .1 clear and legible details of the proposal, with a scale (metric) and north point identified
- .2 any relevant drainage information
- .3 contours and ground levels in sufficient detail to enable assessment of compliance with Plan standards
- .4 ground floor levels of all proposed buildings
- .5 parking, loading and access spaces
- .6 landscaping details
- .7 scale, preferably on a multiple of 100, 200, 250 or 500
- .8 position of boundaries, measurements and areas of all allotments
- .9 proposed covenant areas in respect of cross-leases and freehold subdivisions that require such covenants
- .10 existing easements
- .11 land below MHWS or riverbed
- .12 proposed esplanade reserves or strips and other proposed reserves to vest.
- .13 where relevant, elevations of the existing and proposed building (where alterations are proposed) and surrounding buildings. This may also include photographic documentation.

846A - Natural Hazards: Flooding

- .1 Where an application is located within a flood hazard area:
 - .1 Applicants should submit a Flood Hazard Risk Assessment carried out by a suitably qualified expert of the potential flood hazard in relation to a proposed development on a particular site to determine the appropriateness of the development in terms of the potential flood hazard. Such an assessment may cover, but is not limited to, matters such; as on and off-site effects associated with the flood hazard, including displacement or diversion of water and the appropriateness of any proposed mitigation measures.

846 - Heritage Resources

- .1 Where an application will affect an archaeological site:
 - .1 Applicants should prepare an archaeological assessment report in order to determine the effects of the proposal and to provide for the avoidance, remedy, and mitigation of adverse effects. Applicants should check with the NZ Archaeological Association file keeper and with iwi for previous surveys, the presence of recorded sites and the likelihood of unrecorded sites. Where no recent archaeological survey has been conducted for a particular property or area, an archaeological site survey should be undertaken by a suitably qualified archaeologist in order to determine the effects of the proposal and recommend a suitable course of action.
 - .2 Applicants should note that if an archaeological site (recorded or unrecorded) cannot be avoided, an application must be made to the NZ Historic Places Trust for an authority to destroy, damage, or modify the site.
- .2 Where an application will affect an Historic Building or Structure:
 - .1 Applicants should consult the NZ Historic Places Trust. A full description of the cultural heritage value of the place is required. Applicants may also be required to prepare a building report or heritage inventory for the building or structure or a conservation plan. Where a conservation plan is required, applicants should be guided by reference to the NZ Historic Places Trust document "Guidelines for preparing a Conservation Plan" prepared by G Bowron and J Harris, and also to the ICOMOS NZ Charter For The Conservation Of Places Of Cultural Heritage Value.

847 - Written Approval

The written approval of any affected party.

850 - Assessment Criteria

851 - All Discretionary Activities

- .1 Proposals which are a discretionary activity shall be evaluated in accordance with the following assessment criteria. An adequate assessment of effects must accompany any proposal. The criteria Council will use to decide whether to process an application with or without public notification are set out in the notification criteria in Section 820 - 825.5 inclusive.

For convenience the assessment criteria are grouped under headings below.

- .2 Not all of the matters listed in the assessment criteria will be relevant to all proposals. The detail and depth of analysis required for any one particular proposal will depend on a number of factors, including:
- .1 the size and scale of the proposal
 - .2 the nature of the land on which the proposal is located
 - .3 the complexity of the proposal
 - .4 the off-site effects of the proposal
 - .5 whether the proposal presents any short-term or long-term risks to life, the environment, or danger to property.

851.3 - Objectives and Policies of the Plan

The extent to which the proposal will be consistent with the objectives and policies of the Plan, including the Sustainable Resource Management Principles referred to at section 200. Landscape Amenity and Ecology, Tangata Whenua, Services, Settlement, and Roading and Accessibility and the purposes of the zone.

851.4 - Consultation

The extent to which those people affected or likely to be affected by the proposal have been consulted.

851.5 - Character And Amenity Values

- .1 The extent to which the proposal will impact on key landscape elements
- .2 The extent to which the building design is in accordance with the design principles of the zone or policy area
 - (i) the proposal is in harmony with the character of the area
 - (ii) the advertising signage is in accordance with the character of an area
 - (iii) the adequacy of the building design in relation to other buildings in the street or on the same site
 - (iv) the surrounding properties or area may be affected by shade or overshadowing - shadow plans may be required
 - (v) the privacy of the site or surrounding sites may be affected
 - (vi) the adequacy of landscaping or screening
 - (vii) the facades or verandahs are out of character with surrounding buildings
 - (viii) the proposal is unobtrusive and blends into the landscape
 - (ix) the proposal is in accordance with any relevant design guides.
 - (x) the need for the sign (including size and type)
- .3 The extent to which the proposal will generate noise or disturbance, or give rise to community concern where groups assembled in locations or buildings where noise, parking and behaviour have adverse effects on the living and working conditions of people in the area.
- .4 The extent to which the proposal will generate dust, fumes, smoke, smell, chemical sprays, fumigation chemicals, light or glare.
- .5 The extent to which odour and dust may need to be managed by particular measures.
- .7 The extent to which the number of signs are minimised in relation to an activity.
- .8 The extent to which signs are designed (including size and scale) and located appropriately so that they blend into the character of the area and do not compromise driver safety.
- .9 The extent to which natural hazards may affect the proposal and, if so, how the hazards will be avoided.

851.6 - Roading, Loading, Parking and Access

- .1 The extent to which adequate on-site parking, manoeuvring, loading and access for all vehicles generated by or associated with the activity will be provided for.

Note Town Centre parking standards are unlikely to be appropriate outside the Town Centre Zone.

- .2 The extent to which traffic movements resulting from the activity will have any significant impact on the safe and efficient operation of the road.
- .3 The extent to which traffic generation may cause the need for road upgrading, and whether that upgrading is in accordance with the function of the road in the Roading Hierarchy.
- .4 Disabled persons access standards, and whether building meets NZS4121 or to the like effect.
- .5 The extent to which contaminants/hazardous substances are being transported and the routes intended to be used.
- .6 The means by which any likely traffic hazard can be avoided, remedied or mitigated.
- .7 In determining the location, number, configuration and gradient of vehicular accesses onto any road, regard shall be had to whether they:
 - (i) unnecessarily disrupt the provision of on-street parking;
 - (ii) detract from the amenities of the locality, particularly residential properties;
 - (iii) unreasonably obstruct access to services;
 - (iv) unreasonably inhibit the utilisation of the site having regard to the scale of the activity and its operational needs;
 - (v) are preferable in traffic management terms to be sited on a 'greater' road rather than a lesser road in the case of corner sites.
- .8 For Road Design the following criteria:
 - (i) Whether the width, gradient and alignment of any carriageway is sufficient to accommodate in a safe and efficient manner the volume and type of traffic likely to use it, including service and emergency vehicles in local roads and heavy trucks in commercial and industrial areas.
 - (ii) Whether the road design is adequate for the movement of pedestrians, cyclists and the disabled, and the provision of carparking spaces relative to existing and potential developments on adjoining land.
 - (iii) Whether the design of the road is such that:
 - (a) the design life will not require premature maintenance or replacement;
 - (b) the nature of the intersection is appropriate for the rest of the existing roading network that it is connected to;
 - (c) ease of cleaning and maintenance has been provided for; and
 - (d) easy installation of and maintenance of network utility services and amenity street planting has been provided for;
 - (e) the use of traffic calming devices are required;
 - (f) site distances and visibility are adequate;

- (g) increases in front yard setbacks for buildings are required;
- (h) the extent to which the reduction of the standard will contribute to protection of amenity values (including but not limited to landscape, indigenous vegetation, natural character and natural water bodies) whilst still maintaining a safe and efficient road (refer criteria i) above).

851.7 - Town Centre Zone Only:

851.7.1

Town Centre Only:

The extent to which the development in the Town Centre Zone provides adequate on-site parking. Council may take cash in lieu of the provision of on site parking spaces. The formula for calculating this is set out in the "Roading, Parking, Loading and Access" section of the Plan.

851.7.2

Sites outside the Town Centre Zone:

- (i) For sites outside the Town Centre Zone, the extent to the parking areas provided on the site or immediately adjacent to the site will be adequate.
- (ii) Whether contaminants/hazardous substances are being transported.

851.8 - Density

- .1 The extent to which the proposal will be accommodated comfortably on the site.
- .2 The extent to which buildings/structures/houses are necessary to carry out the activity.
- .3 The extent to which the proposal's density will have an adverse cumulative effect in combination with other activities or development in the area.

851.9 - Assessment of Environmental Effects (AEE)

- .1 The adequacy of the AEE in relation to the proposal
- .2 The extent to which the proposal deals adequately with the adverse effects identified in the AEE.

851.10 - Development and Performance Standards

- .1 The extent to which the proposal is in accordance with:
 - (i) the standards for permitted and controlled activities in the zone, and;
 - (ii) the extent to which Solar Access to adjoining sites is provided for and whether new activities or new work will cause loss of sunlight, daylight, privacy or Solar Access to adjoining sites".

Note	In the LDPA Housing Zone Racecourse Road, Whitianga houses are controlled to ensure adequate protection of their inhabitants from the effects of aircraft noise.
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- .2 The extent to which the proposal for an intensive pig farm complies with Code of Practice - Pig Farming, New Zealand Pork Board, 2nd Edition August 1998.
- .3 The extent to which the proposal complies with the Agrichemicals Users Code of Practice, Grosafe Qualification.

851.11 - Eco-Systems and Biodiversity

- .1 The extent to which the proposal will adversely affect the water quality of any waterbody
- .2 The extent to which the proposal will disrupt any ecological habitat or ecological corridor, especially those that are inhabited by threatened or endangered indigenous species.
- .3 The proximity of the proposal to areas of indigenous vegetation and habitat for indigenous fauna and the extent to which these areas may be affected by the proposal.
- .4 The extent to which natural ecological areas have been protected in perpetuity by covenants.
- .5 The extent to which the proposal will protect a natural area in or in close proximity to the site and show how such natural areas will be re-vegetated using ecologically appropriate species and monitoring for, and maintained free of, environmentally threatening exotic plants and animals during the course of the activity.

851.12 - Water Supply and Catchment Areas

- .1 The extent to which sediment runoff or contaminants generated by the proposal may affect the potability (drinkable standard) of water from the catchment.
- .2 The extent to which the quantity of water available for water supply catchments will be reduced in the long or short term by the proposal.

851.13 - Site Rehabilitation

- .1 The extent to which the proposal will require careful rehabilitation management or monitoring in the short or long term.
- .2 The extent of risk involved with the site and surrounding area in terms of environmental contamination, health and safety.
- .3 The extent to which the site is unstable or subject to natural hazards.
- .4 The extent to which areas off-site will need rehabilitation management or monitoring in the short or long term.
- .5 The extent to which bonds, hard security and monitoring costs will be needed after the activity ceases.
- .6 The extent of public liability associated with the site after the activity ceases.

851.14 - Servicing and Infrastructure

- .1 The extent to which existing infrastructure and services will be able to adequately provide for the proposal.
- .2 The adequacy of services proposed.
- .3 The extent to which the proposal manages stormwater on site or transfers stormwater into a reticulated system.
- .4 The extent to which services proposed take into account any future growth of the area and peak demands.

851.15 - High Quality Soils

- .1 The extent to which the proposal affects the versatility and life-supporting capacity of high quality soils.

851.16 - Cultural Heritage Resources

- .1 The extent to which, when assessing more than one house on a lot, increased density, overheight buildings, increased site coverage, the location of buildings may affect cultural or heritage resources (trees, sites or areas) or indigenous vegetation.

852 - Housing In The Housing Zone - Discretionary Activity

Proposals for houses in the Housing Zone which are a discretionary activity shall be evaluated in accordance with the following assessment criteria in addition to the criteria of 851

852.1

Setting:

There are two distinct parts to the Housing Zone in Thames, Whitianga, Tairua, and Whangamata; areas on the flat and on the hills. Different design factors will be important in each area. At Coromandel and Pauanui, the zone is mostly flat or gently rolling; in the other centres there are substantial hills and some of the sites are steeply sloping.

852.2

Key Design Factors:

- .1 Council may exercise control over those of the following matters that are relevant to the proposal:
 - .1 Open space around buildings, site coverage of buildings
 - .2 Height of buildings
 - .3 Overshadowing and overlooking of adjoining properties
 - .4 Privacy available to occupiers of proposed houses, adequacy of privacy circle; loss of privacy on adjoining properties
 - .5 Appearance of buildings: harmony of design with each other, and with adjoining properties
 - .6 Orientation to the sun
 - .7 Location of buildings in relation to cultural and heritage resources (trees, sites or areas) and in relation to indigenous vegetation
- .2 On the flat, all the above factors are important. On the hills, there is less flexibility for orientation to the sun, views are better, coverage less important, greater density can be achieved without overlooking neighbours, and overheight buildings can be integrated more easily into the landform. On the other hand, vehicle access provisions can be more difficult to achieve.
- .3 Designs should display the following characteristics:
 - .1 Optimise open space around buildings by aggregating it in one particular part of the site. This may involve building on or close to one or more of the site boundaries.
 - .2 Limit the height of buildings, especially on the flat, to preserve some consistency in the appearance of the street.
 - .3 Comply with the daylighting standard.
 - .4 Not overlook neighbouring property. This means first floor windows facing neighbouring properties should be for service rooms, not living areas, unless the windows are set back from the site boundary by a distance comparable to the required privacy circle, or at least sufficient to preserve the privacy of the neighbours property including the garden ground.
 - .5 Reduce the required privacy circle as little as possible. Compliance with the standard should be achieved in almost every situation where the privacy circle lies adjacent to the side or rear boundary of the site. Where it lies adjacent to the street, or where the site is sloping or where the living area is substantially elevated above the ground, reduction of the privacy circle is not so critical to good design. On the flat, privacy circles should not be reduced unless there is some mitigation such as a fence or hedge to provide privacy to the occupiers of the house.
 - .6 Be in harmony with the external appearance of other buildings on the site, and maintain whatever consistency of design there is in the external appearance of buildings in the street. In Thames where the land is within the Heritage Overlay Area, there are specific design guidelines to assist in achieving the purpose of the heritage area.
 - .7 Incorporate "soft" landscaping in the form of grass, tree and shrub planting in order to beautify the site.
 - .8 Have the main windows of the living area facing North or as close to north as possible, in order to make the living area as warm and comfortable for the occupants as possible.

853 - Houses In The Coastal Zone - Controlled Activities

853.1 - Outside All Policy Areas

- .1 Council may exercise control over those of the following matters that are relevant to the proposal:
 - .1 Colour,
 - .2 Reflectivity,
 - .3 Bulk (especially height),
 - .4 Extent of vegetation clearance (especially manuka).
 - .5 Location of the building in relation to headlands, ridgelines, and its prominence when viewed from the sea and public roads, cultural or heritage sites
 - .6 Location of buildings in relation to cultural or heritage resources (tree sites or areas), and in relation to indigenous vegetation
- .2 Designs should display the following characteristics:
 - .1 Use exterior colours which harmonise with the tonings of the remaining indigenous vegetation where the house or building is visually intrusive and certain colours would mitigate the effects. There are standard Coastal Zone design colours that are appropriate.
 - .2 Use exterior materials that are not highly reflective, use the minimum amount of shiny metals, do not have large areas of glass relative to the bulk of the building.
 - .3 Have limited bulk, and where the house begins to approach the maximum site coverage permitted in the policy area (and especially if it is two storey), be comprised of a broken form rather than comprised of a few large masses.
 - .4 Involve the minimum amount of vegetation clearance, especially manuka. Because much of the former manuka has been cleared, that remaining assumes greater importance in the overall visual impact of the settlement.
 - .5 Be located away from headlands and ridgelines and avoid prominent landscape features.
 - .6 Avoid buildings impinging on the skyline.
 - .7 Light spill at night.

853.2 - Coastal Residential Policy Area

853.2.1 - Moehau Area - Design Factors

853.2.1.1 - Port Charles and Otautu Bay (Maps 10/04 & 10/05 & 10/06)

853.2.1.1(i) - Setting (Map 10/04)

This part of the settlement is located on rugged coastal land where pockets of housing have developed. There is still a large amount of indigenous vegetation on the lots, and many of the existing houses are not visible from the sea or the road. Most other houses are not obtrusively visible, largely because of their small bulk and vegetative screening.

853.2.1.1(ii) - Setting (Map 10/05 and map 10/06)

This part of the settlement is situated on flat land adjacent to the water. There is little vegetation in this area, and buildings are surrounded by pasture land. In this area, buildings will be visible from the sea and the road, but being on flat land the visual impact is limited. In this part of the settlement, height is the principal issue.

853.2.1.2 - Waitete Bay (Map 10/08)

Setting:

The settlement is nestled in to a small bay with rocky headlands. The land behind the settlement is partly farmed and partly in production forest. There is a significant stand of indigenous vegetation on the hill immediately inland from the settlement, and good walking tracks are available from the settlement to this reserve. The settlement is not particularly visible from the road, being partly obscured by a stand of pine trees and separated from the main road by some 200- 300 metres, and being lower than the road.

853.2.1.3 - Little Bay (Map 10/09)

Setting:

The settlement is mostly on steep to moderately steep sloping ground. Much of the natural vegetation has been removed, but there are some remaining stands and areas of regenerating species particularly manuka. On this terrain, most buildings will be visible from the sea. Most of the settlement is not visible from the main road, being separated from it by a low ridge, as most of the settlement slopes down to the sea from just above the road.

853.2.1.4 - Key Design Factors: Port Charles Map 10/04, Waitete Bay, and Little Bay

- (i) Council may exercise control over those of the following matters that are relevant to the proposal:
 - colour,
 - reflectivity,
 - bulk (especially height), and
 - extent of vegetation clearance (especially manuka)
 - Location of buildings in relation to cultural or heritage resources (tree sites or areas), and in relation to indigenous vegetation.
- (ii) Designs should display the following characteristics:
 - Use exterior colours which harmonise with the manuka tonings of the remaining vegetation where the house or building is visually intrusive and certain colours would mitigate the effects. The standard Coastal Zone design colours are appropriate.
 - Use exterior materials that are not highly reflective, use the minimum amount of shiny metals, do not have large areas of glass relative to the bulk of the building.
 - Have limited bulk, and where the house begins to approach the maximum site coverage permitted in the policy area (and especially if it is two storey), be comprised of a broken form rather than comprised of a few large masses.
 - Involve the minimum amount of vegetation clearance, especially manuka. Because much of the former manuka has been cleared, that remaining assumes greater importance in the overall visual impact of the settlement.

853.2.1.5 - Key Design Factors: Port Charles Map 10/05, & Otautu Bay Map 10/06

- (i) Council may exercise control over those of the following matters that are relevant to the proposal:
 - bulk (especially height).
 - Location of buildings in relation to cultural or heritage resources (tree sites or areas), and in relation to indigenous vegetation
- (ii) Designs should display the following characteristics:
 - Be single storey, or low two storey.
 - Not involve application for an increase in height above the normal 8 metre maximum.
 - Not involve buildings with a large bulk in relation to the size of the lot or the density of buildings in the area.

853.2.2 - Whangapoua Area - Design Factors:

853.2.2.1 - Tuatēawa (Map 20/05)

Setting:

The settlement is located on heavily vegetated, steep slopes above the sea. The vegetation comprises both regenerating indigenous forest, intact indigenous forest, and has excellent stands of nikau palms. The main road runs around the edge of the settlement, although with some development on both sides of the road. Lot sizes are large, and recent subdivisions as well as the older subdivisions have placed restrictions on the particular house sites and the extent of natural vegetation allowed to be cleared on each lot. Some subdivision in this area have required the design of new buildings to be assessed.

853.2.2.2 - Rings Beach (Map 20/15)

Setting:

The settlement comprises a small group of houses on one side of the road, adjacent to the beach. There are rocky headlands at both ends of the beach. Most development is located on the flat area at the foot of the hill. All the properties in the settlement have been cleared and developed. Buildings are unobtrusive, mainly because none are particularly large in relation to the average lot size (800 m²). Because the settlement is surrounded by a scenic reserve, this should continue to be a significant landscape feature in the area. Development proposals should not compromise this significance.

853.2.2.3 - Kuaotunu West (Grays Beach) (Map 20/16)

Setting:

The settlement is divided by the Pitoone Stream and a series of steeply sided spurs which run in a north-south direction to Bluff Road. The road lies precariously around the edge of the settlement climbing moderately steeply to the west. Each of the four streets which run off Bluff Road define distinct components of the settlement. Hilldale Crescent is low lying between the road and the stream and comprises average lot sizes with some mature exotic trees. The remainder of the lot area including the camping ground and Gray Avenue is similar with average lot sizes and easy contour. From Gray Avenue west, the land becomes rugged and development is located on the ridges and in the valleys. There are some large mature pohutukawa trees and dispersed vegetation. Seavill Park Road and to its west comprises land elevated above the rest of the settlement and is not visible from the road, but visible from the sea.

853.2.2.4 - Otama Beach (Map 20/20)

Setting:

The settlement comprises a small group of houses nestled at the foot of a hill, immediately adjacent to the sea. Development is on one side of the road only, and most houses front the small cul-de-sac. These factors combine to create an enclave with strongly defined boundaries to the north and east. Buildings are not particularly unobtrusive, but the combination of reasonably large average lot sizes (800 m²) and modest size of buildings means that buildings do not dominate the landscape. Land in the immediate vicinity of the settlement is farmed, and there is little indigenous vegetation in the vicinity on the landward side of the road. On the seaward side of the road there is an extensive dune system which should be protected absolutely from degradation or development.

853.2.2.5 - Opito (Map 20/21 & 20/22)

Setting:

Development is predominantly on one side of the road, one house deep. The road and houses are immediately adjacent to the sea. Land in the vicinity is farmed, and little indigenous vegetation remains. Most properties have now been developed with modestly sized buildings. There have been two areas identified for future expansion: one at the north end off Skippers Road, and one at the south end. Land at the south end has started to be developed (Stewart Place, Ohinau Drive, and Thompson Place). Significant scope for further development has been provided for off Ohinau Drive, in accordance with a structure plan approved informally in 1987. This development moves away from established patterns of development in the area, by being comprised of clusters of houses located off a central spine road. These clusters would be situated to be as visually unobtrusive as possible, and the houses within them may well have common design themes as well. As the land is currently all farmed, extensive planting in indigenous species would be anticipated. Any development proposals in this area would be expected to be comprehensively planned and serviced.

853.2.2.6 - Key Design Factors: Tuatēawa, Rings Beach/Kuaotunu West, Otama Beach, Opito

- (i) Council may exercise control over those of the following matters that are relevant to the proposal:
 - colour,
 - reflectivity,
 - bulk (especially height), and
 - extent of vegetation rehabilitation and planting.
 - Location of buildings in relation to cultural or heritage resources (tree sites or areas), and in relation to indigenous vegetation
- (ii) Designs should display the following characteristics:
 - Use exterior colours which harmonise with the tonings of indigenous vegetation where the house or building is visually intrusive and certain colours would mitigate the effects. The standard Coastal Zone design colours are appropriate, but colours and textures which are harmonious with the dunes in the area would also be appropriate at Opito and Otama.
 - Use exterior materials that are not highly reflective, use the minimum amount of shiny metals, do not have large areas of glass relative to the bulk of the building.
 - Have limited bulk, and where the house begins to approach the maximum site coverage permitted in the policy area (and especially if it's two storey), be comprised of a broken form rather than comprised of a few large masses.
 - Involve the minimum amount of vegetation clearance, especially indigenous vegetation. Conditions of consent may involve: planting indigenous trees and shrubs to screen buildings from the road and sea, and planting within road reserves.
 - Avoid buildings on or impinging on the skyline especially at Opito in the area zoned for the extension of the settlement.
 - Driveways to house sites that follow the contours of the land, and minimise cut and fill. Stormwater control is important because of the potential of the land to erode.

853.2.3 - Coromandel Area - Design Factors

853.2.3.1 - Kikowhakarere Bay (Map 30/04)

Setting:

This is a small cluster of houses around a stream-mouth. The houses are lower than the road. The area has, with the exception of a few substantial trees on the shoreline, little vegetation. The old house on the shore at the end of Calloway Lane is recorded with the NZ Historic Places Trust, is listed on the Heritage Register for Coromandel, and is one of the oldest houses in the District. The cluster of 10 or so properties in this vicinity are not obtrusively visible, because of their setting on level ground, near sea level, generally below road level, and at the low point near the centre of a heavily indented bay. However, the replacement of some of the houses with much larger structures could alter this relationship.

853.2.3.2 - Te Kouma (Maps 30/05 & 30/06)

Setting:

There are several policy areas involved: "Bull's" property, Puriri Road, Kowhai Drive, and the new enclave just west of Hannafords Point. The common characteristics are that the land is elevated with some of the properties steeply sloping. Land in the vicinity is farmed, and while there are stands of indigenous bush in the area, most has been cleared. Because of the steeply sloping land, many of the houses are very visible from the water, and to a lesser extent from the shoreline.

853.2.3.3 - Wyuna Bay (Maps 31/02, 31/03, 31/08)

Setting:

The settlement follows the spine road and the ridgeline, with the exception of the two clusters of houses adjacent to the two beaches (Woodroffe Road and at the very end of Ruffins Road). Houses have extensive views out, and are visible from the water, Wyuna Bay Road where they are close to the road, and from other vantage points along Long Bay Road, and the wharf. There is still a reasonably large amount of indigenous vegetation on Ruffins Peninsula, and the houses collectively do not dominate the landform.

853.2.3.4 - Key Design Factors: Kikowhakarere Bay

- (i) Council may exercise control over those of the following matters that are relevant to the proposal:
 - bulk (especially height), and
 - extent of vegetation rehabilitation and planting.
 - Location of buildings in relation to cultural or heritage resources (tree sites or areas), and in relation to indigenous vegetation
- (ii) Designs should display the following characteristics:
 - Have limited bulk, and where the house begins to approach the maximum site coverage permitted in the policy area (and especially if it is two storey), be comprised of a broken form rather than comprised of a few large masses.
 - Involve the minimum amount of vegetation clearance, especially indigenous vegetation. Conditions of consent may involve: planting indigenous trees and shrubs to screen buildings from the road and sea, and planting within road reserves.
 - Where alterations to or demolition of the old house at the end of Calloway Lane are concerned, involve Council in consultation with the Historic Places Trust, and other appropriate people or organisations, to assist in designing the alterations so that they respect the heritage of the building. The heritage provisions of the District Plan mean that demolition of the house itself is likely to be a measure of last resort only, approved only when all other avenues for saving the building have been exhausted.

853.2.3.5 - Key Design Factors: Te Kouma and Wyuna Bay

- (i) Council may exercise control over those of the following matters that are relevant to the proposal:
 - colour,
 - reflectivity,
 - bulk (especially height), and
 - extent of vegetation rehabilitation and planting
 - Location of buildings in relation to cultural or heritage resources (tree sites or areas), and in relation to indigenous vegetation
- (ii) Designs should display the following characteristics:
 - Use exterior colours which harmonise with the tonings of indigenous vegetation where the house or building is visually intrusive and certain colours would mitigate the effects. The standard Coastal Zone design colours are appropriate.
 - Use exterior materials that are not highly reflective, use the minimum amount of shiny metals, do not have large areas of glass relative to the bulk of the building.
 - Have limited bulk, and where the house begins to approach the maximum site coverage permitted in the policy area (and especially if it is two storey), be comprised of a broken form rather than comprised of a few large masses. This is especially important for houses along the Wyuna Bay Road ridgeline, where it is likely that buildings would be limited to single storey in order to avoid one single building dominating that particular ridgeline.
 - Involve the minimum amount of vegetation clearance, especially indigenous vegetation. Conditions of consent may involve: planting indigenous trees and shrubs to screen buildings from the road and sea, and planting within road reserves.

853.2.4 - Whitianga Area - Design Factors

853.2.4.1 - Hot Water Beach (Map 40/09)

Setting:

This small cluster of houses is situated on sloping ground immediately adjacent to the coast. The locality is one of the most heavily visited locations on the Peninsula, so the attractiveness of the settlement is of greater than normal importance. The settlement is not especially visible from out on the water, but is highly visible from the beach area where most of the visitors congregate. The settlement is surrounded by developed farmland, and there are few stands of indigenous bush in the area, although there are some fine pohutukawas. The camping ground is a key feature in this locality.

853.2.4.1A - Hahei Grange Road (Structure Plan - Map 40/08)

Setting:

The Structure Plan provides for a cluster of houses on this elevated site just below the ridgeline at the end of Grange Road. These houses, along with existing houses on Grange Road and on other elevated areas of Hahei, are and will be visible from Hahei Beach. In addition, large numbers of vehicles pass the Grange Road site on their way to and from the Cathedral Cove Reserve. The intention of the Structure Plan is that houses will not be visible from the part of the adjacent Cathedral Cove reserve to the west of the land. The Structure Plan provisions require land at the northern end of the site to be vested as recreation reserve and kept free from development in order to ensure the amenity values of the Cathedral Cove reserve are not adversely affected, and buildings are not visible from the part of the reserve to the west of the land. Further, the Structure Plan intends that houses on the site will generally not impinge into the skyline when viewed from Hahei Beach and that house designs will generally integrate buildings into the landform.

853.2.4.2 - Flaxmill Bay (Map 40/06)

Setting:

This largely undeveloped policy area lies immediately behind the heavily indented bay. The land slopes gently up from the road to the policy area boundary where it then rises steeply. Development in this area is unlikely to be particularly visible from the sea, but could have a significant impact on the amenity values of the coastline.

853.2.4.3 - Wharekaho (Maps 41/01)

Setting:

This settlement lies (almost entirely) between the State Highway and the beach, the road being slightly higher than the settlement. Development to date has comprised single houses on 800 m² lots. There is a sense of spaciousness as a result. The beachfront properties are most visible from the sea, but for the most part the settlement is visible from the hill as it is approached from Whitianga and from the state highway. It is surrounded by developed farmland and there is little indigenous bush in the vicinity. There are significant pohutukawas around the stream at the centre of the settlement.

853.2.4.4 - Matapau Bay (Map 40/05)

Setting:

This small cluster of houses lies along the beach and at the top of the shoreline cliffs. Access to it is by narrow winding and sometimes marginal metalled road. It is screened from the sea by a row of outstanding pohutukawas, which are located on the beach (legally, a road reserve). The houses make little visual impact because they are all relatively small and clustered in the flat area adjacent to the beach. There are significant stands of indigenous forest in the vicinity.

853.2.4.5 - Key Design Factors: Hot Water Beach, Grange Road Hahei, Flaxmill Bay, Wharekaho, and Matapau Bay

- (i) Council may exercise control over those of the following matters that are relevant to the proposal:
 - bulk (especially height), and
 - extent of vegetation rehabilitation and planting.
 - number, size, and bulk of buildings on the camping ground site at Hot Water Beach.
 - at Grange Road Hahei- the height of buildings in relation to the skyline when viewed from various points along Hahei Beach."
 - visibility of buildings fronting Hot Water Beach Road when viewed from the beach where the thermal pools are dug.
 - setback from Purangi Road (Flaxmill Bay only).
 - Location of buildings in relation to cultural or heritage resources (tree sites or areas), and in relation to indigenous vegetation
- (ii) Designs should display the following characteristics:
 - Use receding colours on the exterior. The standard Coastal Zone design colours are appropriate, as are other exterior claddings in natural materials or receding colours where the house or building is visually intrusive and certain colours would mitigate the effects.
 - Use exterior materials that are not highly reflective, use the minimum amount of shiny metals, do not have large areas of glass relative to the bulk of the building.
 - Have limited bulk, and where the house begins to approach the maximum site coverage permitted in the policy area (and especially if it is two storey), be comprised of a broken form rather than comprised of a few large masses. This is especially important for houses fronting Hot Water Beach Road, where it is likely that buildings would be limited to single storey at the front, or follow the slope of the land, in order to avoid being highly visible from the beach.
 - At the Hot Water Beach camping ground, it is unlikely that buildings over one storey would be granted consent because of the highly visible nature of the site, being surrounded by public land.
 - Do not involve the felling or removal of any part of any pohutukawa tree. This is important at all of the settlements, because these trees make a significant contribution to the amenity values of these localities.

853.2.5 - Tairua Area - Design Factors

853.2.5.1 - Te Karo bay (Map 60/04), Pumpkin Hill (Map 60/05), & Sailor's Grave Road (Map 60/07) Pauanui (Map 62/04).

Setting:

These clusters of houses all lie on moderately sloping to steeply sloping land heavily vegetated in regenerating indigenous bush, predominantly manuka species. The slopes are visible from the water. The special character of the area is that the landform and vegetation dominate the buildings, and in so doing retain the natural character of the area. Lot sizes are large, and recent subdivision as well as the older subdivisions have placed restrictions on the particular house sites and the extent of natural vegetation allowed to be cleared sites and the extent of natural vegetation allowed to be cleared on each lot. Some subdivision consents have required the design of new buildings to be assessed.

853.2.5.2 - Key Design Factors: Te Karo Bay, Pumpkin Hill, & Sailor's Grave Road and Pauanui

- (i) Council may exercise control over those of the following matters that are relevant to the proposal:
 - colour,
 - reflectivity,
 - bulk (especially height), and
 - extent of vegetation rehabilitation and planting
 - Location of buildings in relation to cultural or heritage resources (tree sites or areas), and in relation to indigenous vegetation.
- (ii) Designs should display the following characteristics:
 - Use exterior colours which harmonise with the tonings of indigenous vegetation where the house or building is visually intrusive and certain colours would mitigate the effects. The standard Coastal Zone design colours are appropriate.
 - Use exterior materials that are not highly reflective, use the minimum amount of shiny metals, do not have large areas of glass relative to the bulk of the building.
 - Have limited bulk, and where the house begins to approach the maximum site coverage permitted in the policy area (and especially if it is two storey), be comprised of a broken form rather than comprised of a few large masses.
 - Involve the minimum amount of vegetation clearance, especially indigenous vegetation. Conditions of consent may involve: planting indigenous trees and shrubs to screen buildings from the roads, adjacent properties, and the sea, and to enhance the character of the area.
 - Driveways to house sites that follow the contours of the land, and minimise cut and fill. Stormwater control is important because of the potential of the land to erode.

853.2.6 - Whangamata Area - Design Factors

853.2.6.1 - Opoutere (Map 70/04)

Setting:

The settlement lies on the lower slopes overlooking the Wharekawa Harbour. There is a reasonably extensive amount of indigenous vegetation within the settlement, with the result that the landform and vegetation dominate the setting and houses are reasonably unobtrusive. There are several large pohutukawa trees which make a significant contribution to the character of the area. This has arisen also partly because some properties have yet to be developed, and on those that are developed the buildings are not particularly large. Lot sizes on the steeper slopes are larger, and the District Plan retains a restriction on the re-subdivision of these lots in order to ensure they remain large. This will have the effect of limiting the number of properties served by the access driveways, which are at present only just adequate to serve the existing lots. Stormwater is an issue, and more intensive development would aggravate the situation.

853.2.6.2 - Ohui (Map 70/05)

Setting:

This area is developed farmland with some significant pohutukawa trees at the low point adjacent to the stream. The area has been identified for future development. The setting is one of a basin surrounded by hills, at the end of a beach, and the coastal environment is largely undeveloped. The site is reached by a narrow metalled road. The setting is currently natural, but modified, and sensitive to change.

853.2.6.3 - Key Design Factors: Opoutere

- (i) Council may exercise control over those of the following matters that are relevant to the proposal:
 - colour,
 - reflectivity,
 - bulk (especially height), and
 - extent of vegetation rehabilitation and planting
 - Location of buildings in relation to cultural or heritage resources (tree sites or areas), and in relation to indigenous vegetation
- (ii) Designs should display the following characteristics:
 - Use exterior colours which harmonise with the tonings of indigenous vegetation where the house or building is visually intrusive and certain colours would mitigate the effects. The standard Coastal Zone design colours are appropriate.
 - Use exterior materials that are not highly reflective, use the minimum amount of shiny metals, do not have large areas of glass relative to the bulk of the building.
 - Have limited bulk, and where the house begins to approach the maximum site coverage permitted in the policy area (and especially if it is two storey), be comprised of a broken form rather than comprised of a few large masses.
 - Involve the minimum amount of vegetation clearance, especially indigenous vegetation. Conditions of consent may involve: planting indigenous trees and shrubs to screen buildings from the roads, adjacent properties, and the sea, and to enhance the character of the area.
 - Driveways to house sites that follow the contours of the land, and minimise cut and fill. Stormwater control is important because of the potential of the land to erode.

854 - Thames Heritage Design Criteria (Controlled Or Discretionary Activities)

854.1 - Residential

- .1 Original decorative features such as decorative glass, ornate sawn and turned timberwork, pressed steel and plaster work should be retained.
- .2 Verandahs and porches should be kept open.
- .3 The original windows and doors should be retained and wooden frames should not be replaced with aluminium frames.
- .4 The use of synthetic "low maintenance" materials such as imitation brick or stone should be avoided.
- .5 The use of pressed metal tiles and raised profile and other modern profiles of roofing iron on cottage, villa and bungalow roofs. These materials should be avoided.
- .6 Wooden ornament, verandah posts, friezes, balustrades, roof trims and painted timber window frames should be retained where these are present. Where these are damaged or missing they should be replaced to match the original patterns.
- .7 Extensions should be confined to the rear or sides of the building where they are not obvious from the street.
- .8 Existing roof space should be utilised if it is high enough without changing the exterior of the building. Additions to the roof should match the proportions of the original house.
- .9 Traditional building forms with details extracted from the original should be used.
- .10 Existing details should be reproduced or where an exact reproduction is not attempted, the form and character of the original building should be matched with new elements resembling the proportions and materials of the original.
- .11 Existing door and window openings should be retained and new openings kept to a minimum.
- .12 Front yards shall be in keeping with neighbouring properties.
- .13 Garages shall be behind or beside the house, or as close to the street frontage and as far away from the house as possible.

854.2 - Commercial

- .1 All new buildings should be one-and-a-half or two storeys with the half-storey composed of an appropriately designed parapet. The frontage should be a similar height to nearby buildings.
- .2 Building frontages should be constructed at the street reserve boundary with no setbacks, with the exception of the western side of Cochrane and Pahau Streets where setbacks are permitted to preserve the appearance of existing buildings.
- .3 Buildings should occupy the full width of the site at the street frontage, except where an alleyway for pedestrian access to the rear of the building is provided. See diagrams J and K.
- .4 Verandah facades should have a solid appearance with window openings following the proportions of solid to void as in Diagram D.
- .5 Long facades should be broken into bays with solid wall punctuated with windows or groups of windows arranged symmetrically across the first storey facade.
- .6 Facades should be visually subdivided into a ground floor, fenestrated first floor and a capping element. See Diagrams D and I.
- .7 Windows should be symmetrical and proportioned with the historic buildings of the area. The rhythm of solids to voids in the facade should be organised in symmetrical proportions, alternating strong and weak elements in the facade. See Diagrams B and C.
- .8 Timber construction is preferred.
- .9 The extent to which the heritage guidelines, including colour schemes and building diagrams are followed. Copies are available, and should be used.
- .10 The extent to which parapets and cornices are provided. Buildings should provide these features.
- .11 Heritage colour schemes are preferred; they should emphasise and complement the architectural character and detailing of a heritage building.
- .12 Buildings should define the corner where appropriate. See Diagram F.
- .13 Verandahs should be provided to all infill buildings.
- .14 Verandahs should be continuous with adjacent verandahs. See Diagram G.
- .15 Buildings should provide signs that are integrated with the architectural design of the building and the street.
- .16 Large scale above verandah signs and advertising structures are discouraged.
- .17 Large parts of the first floor facade, especially the windows, should not be covered. See Diagrams L and M.
- .18 Shop fronts in infill buildings should have recessed doorways which provide extra window display space and create a space for people to shop without disturbing the pedestrian traffic flow. See Diagram H.
- .19 Parapets and cornices should be provided.
- .20 Decorations on buildings in the Grahamstown area should be simple or robust. See Diagram E.

THAMES HERITAGE COMMERCIAL BUILDINGS

[illegible]

DIAGRAM B

Page 22 of 49



DIAGRAM C

Window proportion illustrating the width to height relationship of windows



DIAGRAM D

**The vertical modulation of a typical shop front.
Organised in a tripartite arrangement**

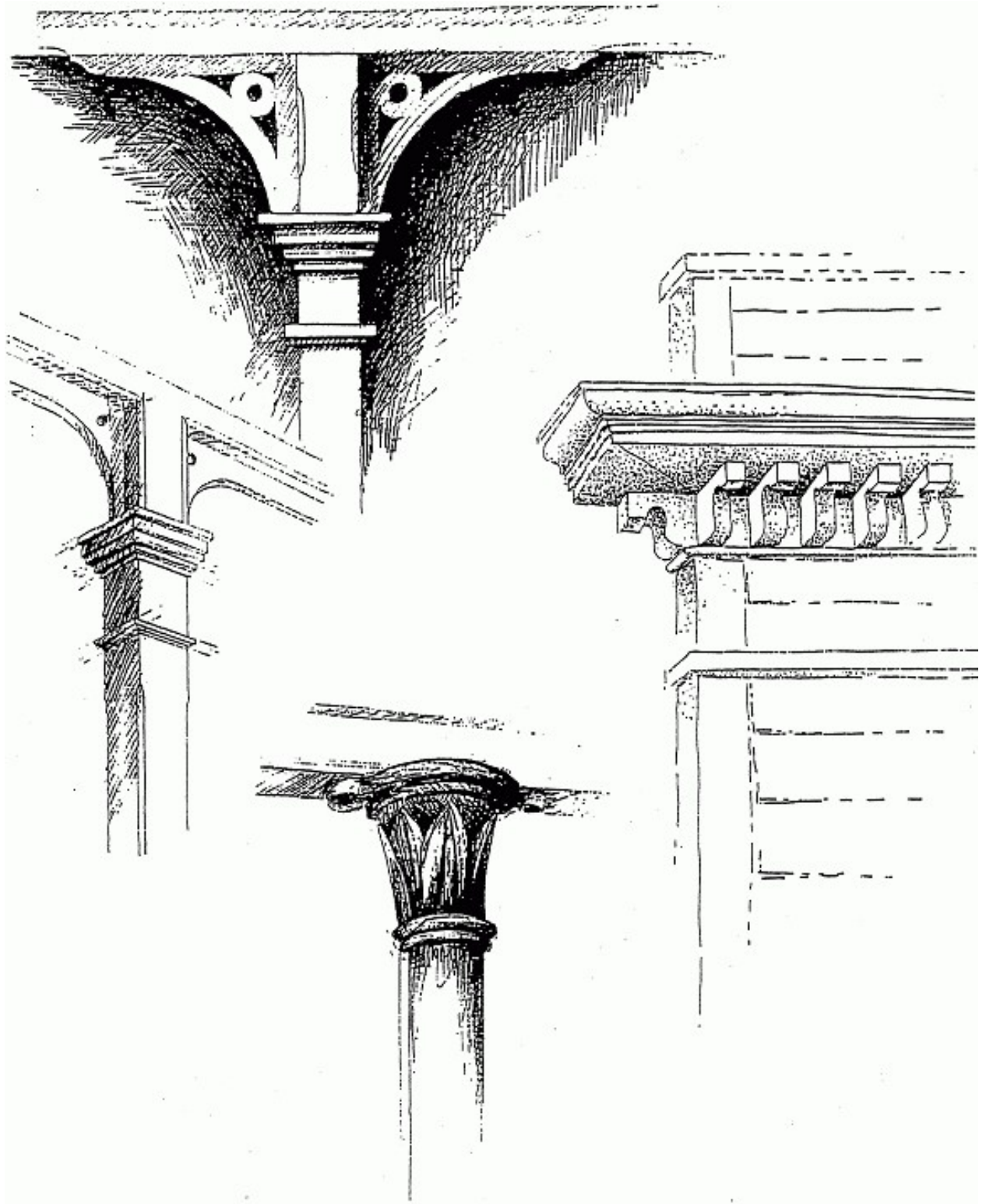


DIAGRAM E

Typical decoration on Grahamstown shop fronts illustration verandah post capitals and the parapet detail

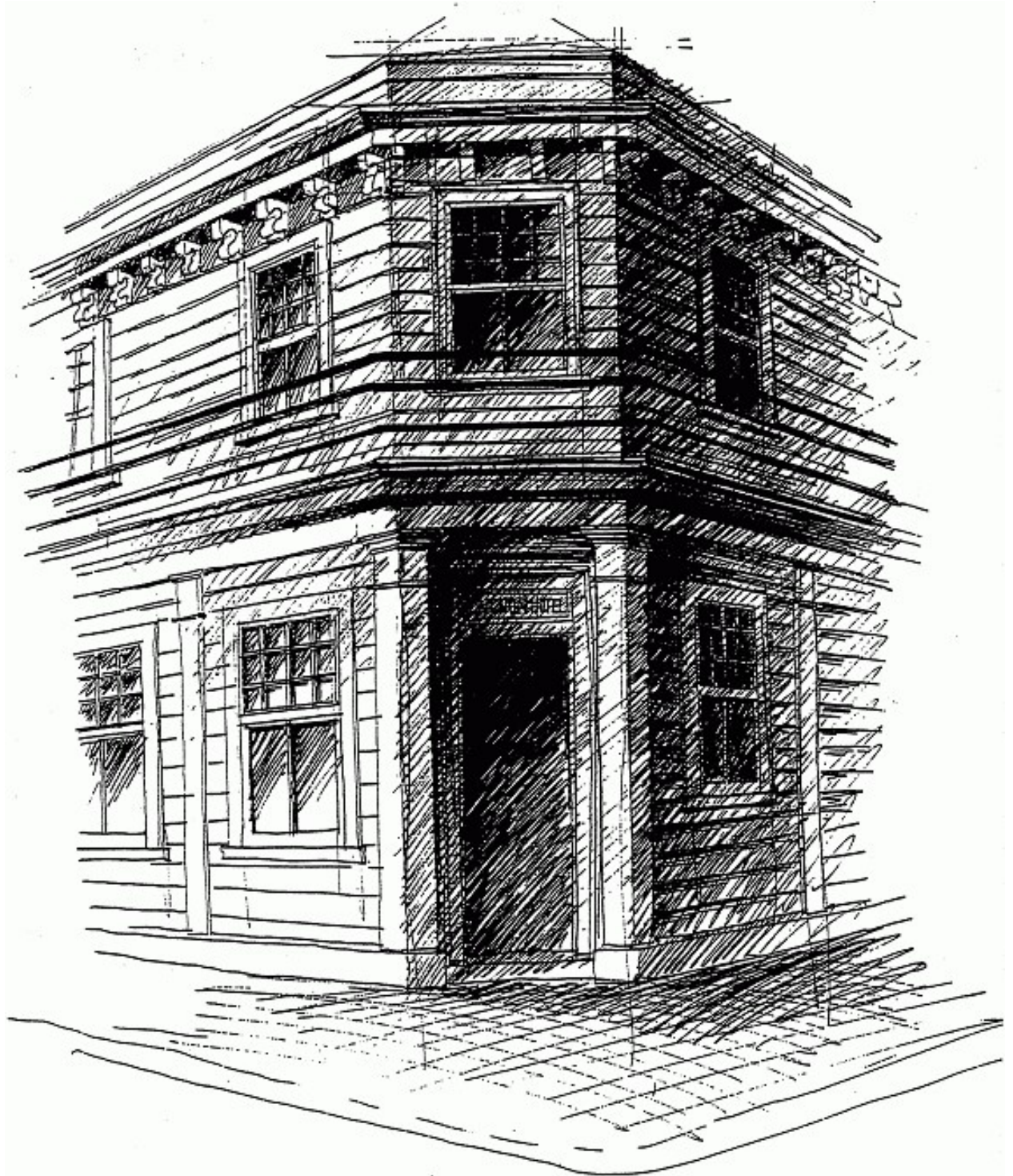


DIAGRAM F

The Junction Hotel “Addresses” the corner and takes advantage of its dominant site

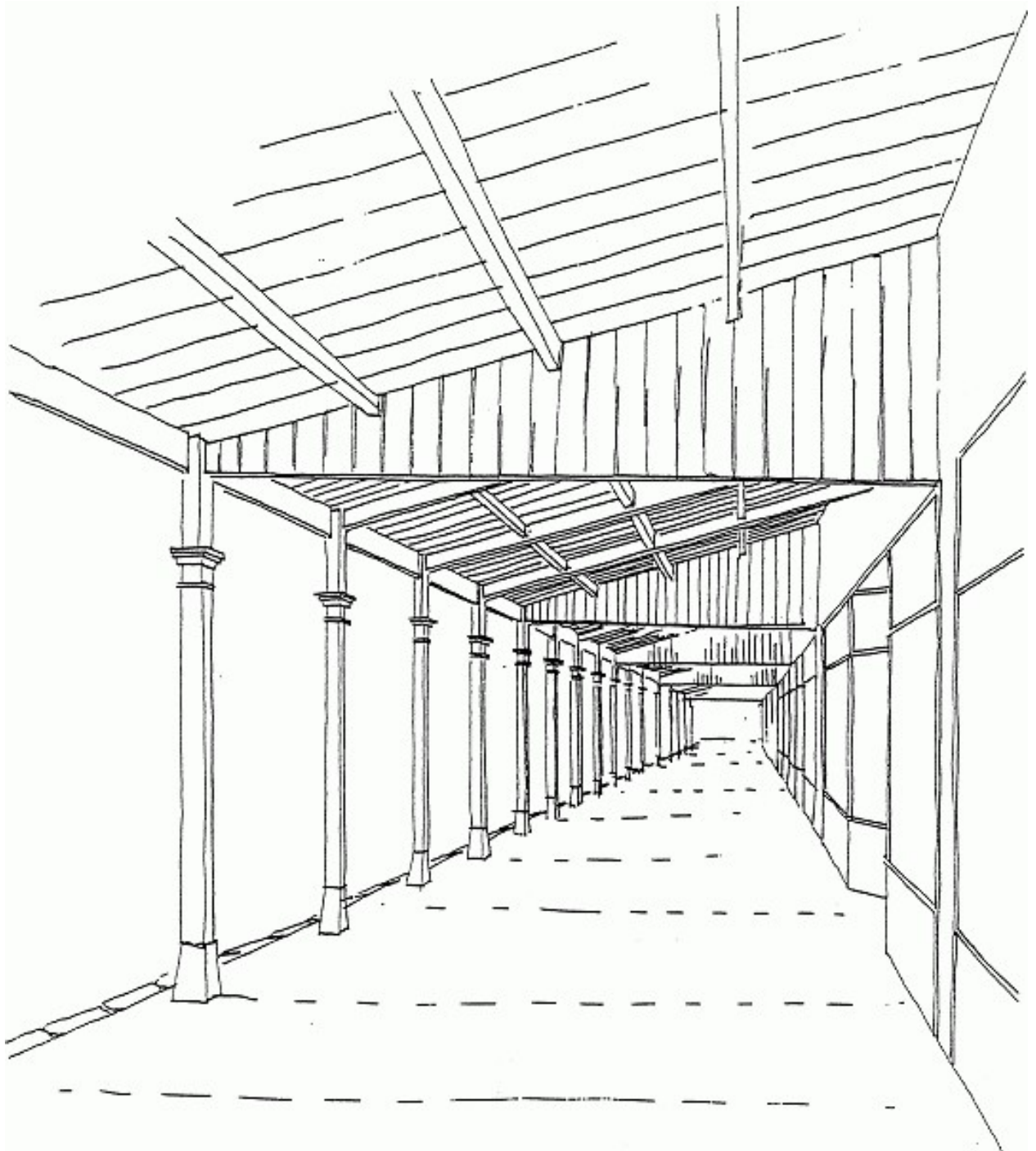


DIAGRAM G

Verandahs from an arcade-like space beside the road, with shop posts and shop fronts creating a rhythm for the passer-by



DIAGRAM H

A typical under verandah shop front with its architectural elements identified

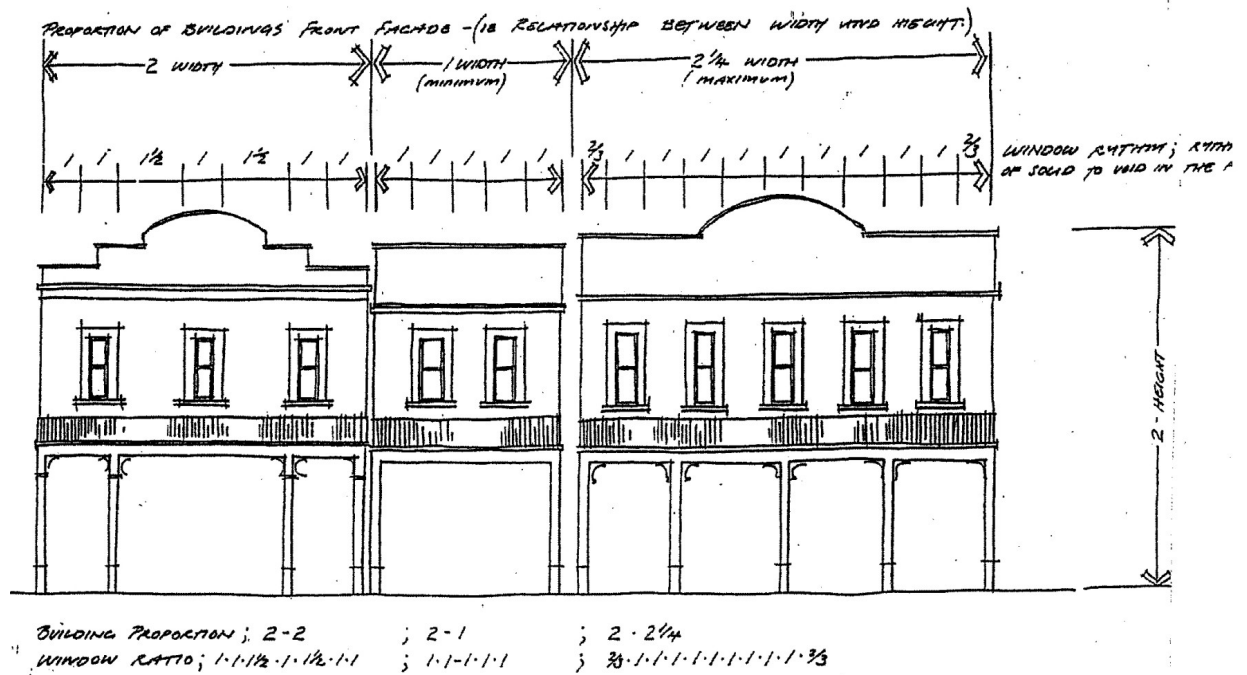


DIAGRAM I

Proportions of the front façade of shop fronts showing the relationship between width and height

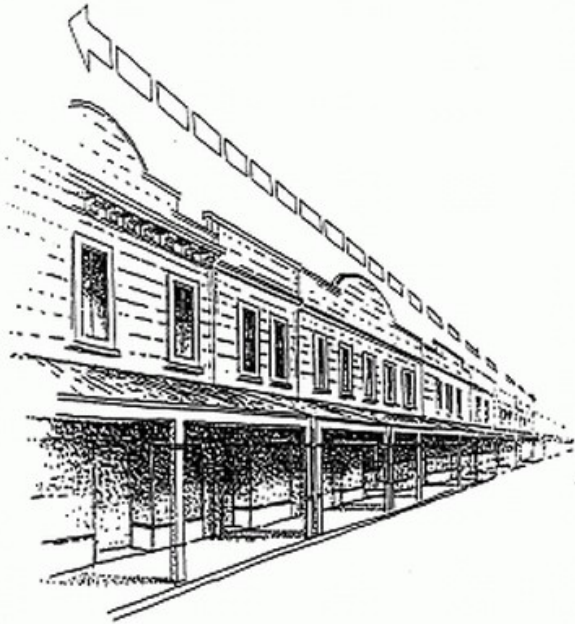


DIAGRAM J

Facade alignment. All infill buildings should be constructed right up to the footpath and should occupy the full width of the site in order to preserve the existing streetscape



DIAGRAM K

Buildings set back from the footpath spoil the traditional alignment and detract from the heritage significance of the streetscape



DIAGRAM L

Typical shopfront showing the placement of signs placed directly on the building

BANK OF NEW
BANK OF
HOTEL
HOTEL
THEATRE
PHARMACY
GRAHAMSTOWN

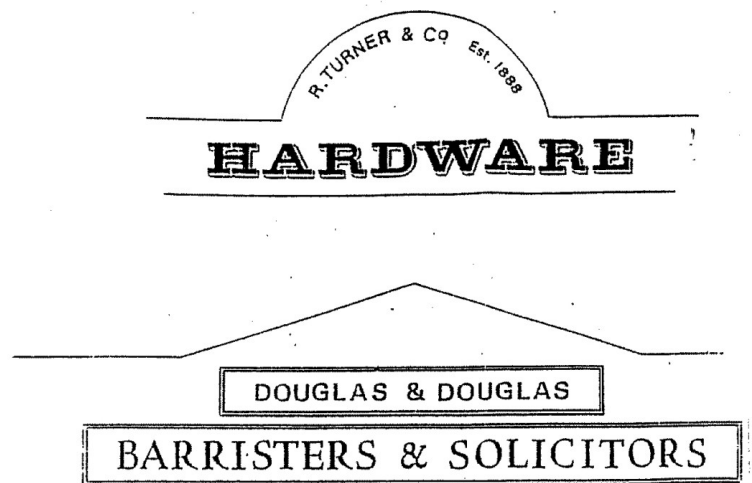


DIAGRAM M

Typical examples of lettering found in traditional signage

855 - Coromandel Heritage Design Criteria (Controlled Or Discretionary Activities)

855.1 - Buildings

- .1 **Setback, orientation and yards**
There shall be no setback from the street boundary and buildings shall address the street. Buildings should occupy the full width of the site unless there is a pedestrian pathway no greater than 1.2 metres.
- .2 **Context**
New buildings shall have regard to the characteristics of the overall Coromandel township and in particular the site's immediate environment, i.e. neighbouring buildings.
- .3 **Character**
New buildings should express their own identity while respecting the pattern and character of the immediate and overall environment. They should respect the surrounding types of construction, range of materials, and colours.
- .4 **Scale and proportion**
Additions and new buildings should generally be of a similar height, size and proportion. They should maintain the scale of adjacent buildings and should not be the tallest or lowest building in the street.
- .5 **Form and massing**
 - (i) Roofs:
Shall be either pitched (at no less than 25 degrees), single plan sloping away from the street front, hipped or lean to.
 - (ii) Building elements:
The proportion of openings, e.g. doors and windows to solid wall shall recognise the proportions of those elements in neighbouring buildings. Where neighbouring buildings are made up of distinct connected elements, e.g. shop front, verandah and parapet, new buildings and additions should similarly include these building elements.
 - (iii) Verandahs:
All retail shops either existing or new shall have a verandah running the full width of the building and covering the full width of the footpath except that verandahs shall not be added to existing buildings where there is no evidence of their having existed.
 - (iv) Rhythm:
The use of similar building forms, eg parapets, verandahs and roofs shall maintain the existing built rhythm.
 - (v) Site coverage:
Permitted site coverage should be varied with site size and between localities to reflect historic size and between localities to reflect historic local patterns of development. Subdivision should not be permitted where this will intensify traditional local densities.
- .6 **Colour**
New buildings and additions and alterations to existing buildings: All exterior colours including roofs, shall be selected from the range of colours described in the colour guidelines.
- .7 **Materials**
Typical materials used in Coromandel township are timber, corrugated iron and plaster finished masonry. Materials such as aluminium, reflective materials, plastic and vinyl are inappropriate use of materials typical of neighbouring buildings will help to maintain their sense of character.

855.2 - Signs

- .1 **Approach**
Sign controls are complex and can lead to an oversimplification of the potential visual excitement of a commercial centre. At the same time, the lack of any control can lead to visual clutter. The objective of these sign guidelines is to allow for a variety of signs that reflect the historic character of Coromandel.
- .2 **Principles**
 - (i) Exterior signs should be located with concern for the appropriateness of location, size, style, colour and lighting.
 - (ii) To be effective, signs must call attention to the business and create an individual image for the store. But signs also contribute to the overall image of a community, adding variety and liveliness to both building facades and streetscapes. A thematic approach includes such commonly shared qualities as sign message, location, size, colour and lighting.
- .3 **Sign Message**
 - (i) Sign messages should be kept simple in content. The major function of the sign is to introduce the shopfront and its contents. Wording should be minimal and slogans avoided. Descriptive words should be used rather than providing listings of items to be sold.
 - (ii) Shopfront signs should only include the name of the business and the nature of the business. There should be no advertising of brand names. Avoid an accumulation of service club affiliations, credit card decals and other sign clutter.
 - (iii) Building signs should include the name of the building and the street address of the property. Often the date of the building or the date of establishment of the business were also included. Professional office buildings should list the occupants of the building.
- .4 **Location and Size**
 - (i) Signs should be located on the spandrel panel of the building immediately above the shopfront, within the transom of the door or shopfront, on door or window glass, on wall areas adjacent to the door, on the outer edge of verandahs, or on projecting signs hung under the verandah. No projecting signs should be allowed above the verandah.
 - (ii) Size does not necessarily mean powerful. Primary signs of appropriate size should combine with the entire shopfront to become a meaningful presentation of the business.
- .5 **Building Signs**
 - (i) In Coromandel there is a heritage of signs located above the verandah as part of the cornice of the building. These signs should be kept simple and announce the name of the building and possibly the nature of the business or the date of the building.
- .6 **Shopfront Signs**
The principle location for shopfront signs is on the spandrel panel above the door and display windows. The size of signs on the spandrel panel should be such that they can be contained within a structural bay of the building. The height of the sign should be no more than 75% of the height of the spandrel.
- .7 **Display Window Signs**
 - (i) Another appropriate location for shopfront signs is on the display windows. Display window signs applied directly to the glass can be appropriate.
 - (ii) These signs should consist only of lettering and/or a symbol. Generally, lettering was painted directly onto clear glass but in some instances, for example, doctors' windows or pub windows, an opaque background was used for reasons of privacy.
 - (iii) On the display window, such a sign should not cover more than one fifth of the area of the glass panel. Window signs should not obscure the display area.
 - (iv) The colour of the letter should contrast with the display background. Light coloured letters with dark borders are effective.
 - (v) Signs used inside of and unattached to the display windows may have opaque, translucent, or transparent backgrounds and should be limited to no more than one square metre in size.

- .8 **Verandah Signs**
- (i) In Coromandel the outer edge of verandahs are typically very thin and are unsuitable for locating signs. Signs above the verandah should avoid proprietary advertising and not protrude from the building. Hanging signs can however be located along and below the outer face of the verandah.
 - (ii) Signs in this location should be lettered on 300 mm to 400 mm canvas or wooden panels hanging under the verandah structure. The lettering should be in a light colour on a dark background. They should only include an identifying name of the business. There should be no advertising of brand names. Usually 152 mm to 200 mm letters will be sufficient.
 - (iii) Hanging signs can also be located under the verandah or at the end of the verandah perpendicular to the building. Verandah signs can be externally lit.
 - (iv) Back lit, flashing or moving signs are not appropriate.
- .9 **Sandwich Boards**
Sandwich boards on the footpath are not encouraged.
- .10 **Style and Size of Letters**
- (i) There are many letter styles available. The primary lettering styles used in the late 19th and early 20th century signs were serifed and a serifed lettering is strongly recommended. However, a letter style should be chosen that is easy to read and that represents the image of the business it is presenting.
 - (ii) The maximum height of the letters should not exceed 75% of the height of the background on which they appear.
- .11 **Colours**
- (i) It is recommended that colours selected for signs should be compatible with the colour scheme for the entire building. It is preferable to limit the number of colours used on any one building. Light letters on a dark background provide the easiest reading.
 - (ii) Fluorescent (day-glo) colours should be discouraged.
- .12 **Lighting**
Signs can be externally lit. External light sources should be shielded from viewers on the street to prevent glare. The signs should not be internally illuminated. No back lit, flashing or moving signs are permitted.
- .13 **Ghost Signs**
Ghost signs and painted advertisements from an earlier time exist on several buildings in Coromandel. These signs were part of late 19th and early 20th century life and record a memory of previous commercial activity in graphic style. Existing ghost signs should be retained.

855.3 - Colour

- .1 **Approach**
The single most effective and easily achievable streetscape improvement can be achieved by the painting of the exterior of buildings. The objective of these colour guidelines should be to confine the range of colours, their combination, and their placement on the building structure in a manner that reflects the historic character of Coromandel.
- .2 **Principles**
- (i) Use colour sparingly and select from a limited range of colours. A special range of heritage colours have been prepared for Thames and Coromandel. They may be viewed at the local Council office.
 - (ii) Choosing the right combination of colours can unify the building elements within the facade as well as relate the building to others on the street.
- .3 Three colours are sufficient to highlight any facade.
- .4 The base colour appears on the walls flanking the shopfront (the space at each end of the windows) and on the upper wall and cornice. Painting of any brick walls for purely cosmetic reasons is not encouraged. If the building has been painted, select a colour from the range indicated that relates to the adjacent buildings.
- .5 The major trim colour defines the decorative elements of the building, tying together the shopfront and any upper facade trim. The trim colour should complement the base colour. Major trim elements include the building cornice, shopfront cornice, window frames, sills and hoods, and the shopfront frame.

Base Colour	Major Trim	Minor Trim
Wall Surfaces	Cornice	Window Sash
	Window Frames	Doors
	Shopfront Cornice	Shopfront Frame
	Shopfront Column (not verandah posts)	Details on Cornice

The minor trim should enhance the colour scheme established by the base and major trim. Often a darker shade of the major trim can be used to highlight windows, doors and selected details.

Care should be taken not to over-decorate the facade. In Coromandel decoration is sparse and robust. Painting should reflect this character and should not become excessively fussy by highlighting individual elements of decoration.

Individual elements of any facade should generally be painted in only one colour. However, in traditional paint schemes window surrounds were often painted a darker colour than the moving sashes. Sometimes the side facets of verandah posts were highlighted in a lighter colour, as were the panels in panelled doors.

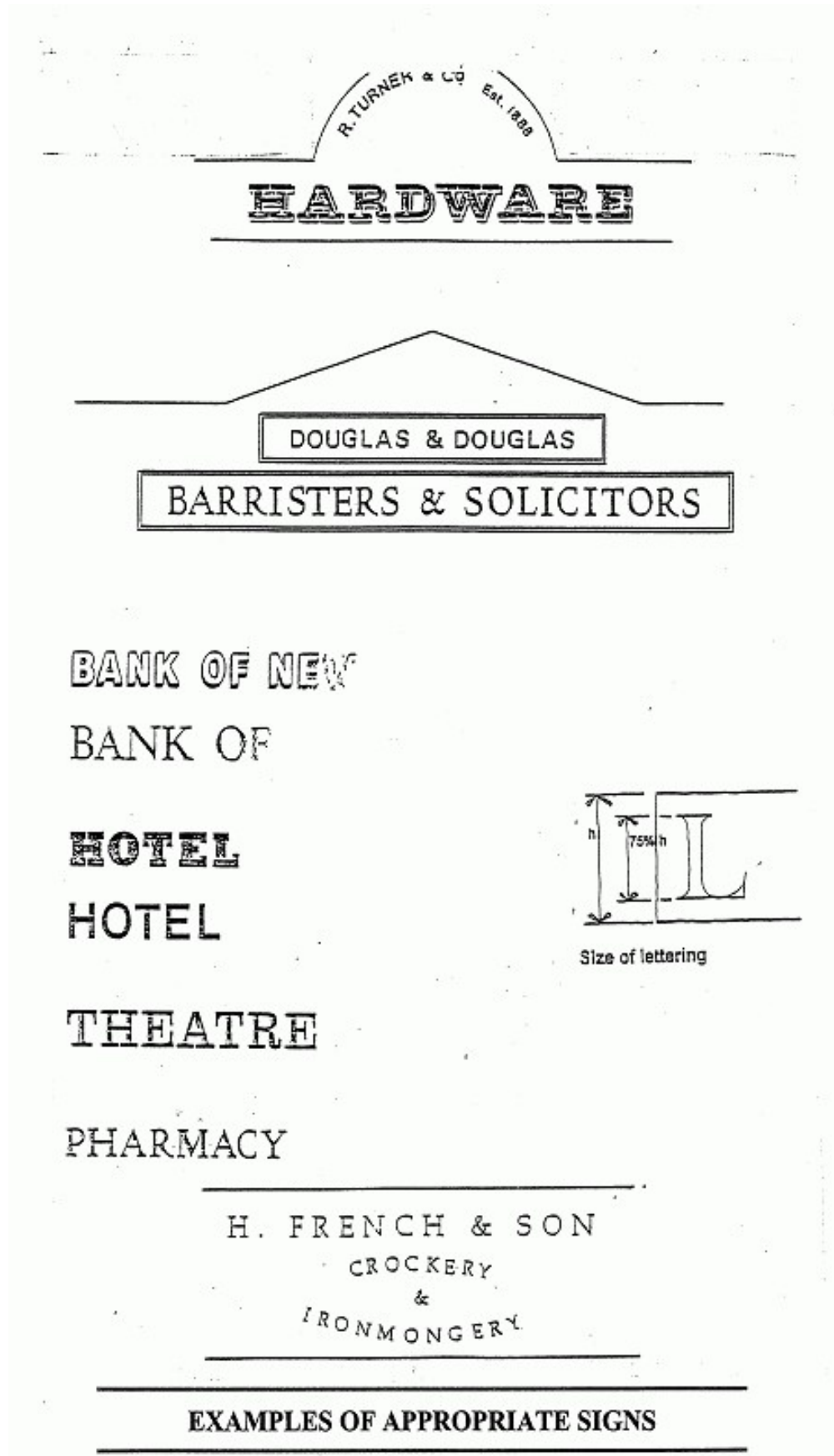
Colour can also be used to minimise facade problems visually and inappropriate materials can be made more compatible with paint colour.

Intense colour district from a harmonious design, light colours bring out details, while dark colours obscure them. Dark brown, dark brunswick green and oxide red were often used to highlight details in heritage paint schemes. Examples are shown in historic photographs in the Coromandel Heritage Register. For example, the paint schemes on the courthouse, item number 49, and on the house listed as item number 16.

Coromandel Heritage Commercial Buildings - Diagrams

LOCATION OF SIGNS





860 - Amenity Values and Landscape Character: Guidelines

860.1 - A Guide to the District's Amenity Values and Character

A guide to assessing the effects of activities on the District's amenity values and landscape character (controlled, restricted discretionary or discretionary activities).

This section is to be used as information only and not as a regulatory part of the Plan. As further studies and consultation are carried out to clarify, define and add value to these descriptions they may be altered without a Plan Change. However, if they are to be incorporated into the assessment criteria or policies of the Plan a Plan Change will have to be initiated.

861 - Moehau Character Area

- .1 **Location**
This planning area encompasses the far northern limit of the Coromandel Peninsula and includes both west and east coast environments. It extends northward from Hautapu Point in the west and from Titimiri Point in the east. The boundary is defined by the limit of the hydrological catchments which drain to the Colville Bay in the west and Waikawau Bay in the east.
- .2 **Landform**
 - .1 The landform is dominated by the ranges landscape type particularly in the north where the Moehau Range occupies the majority of the land at the top of the peninsula. In the central part of the planning area where the peninsula is narrower and Colville and Waikawau Bays draw the west and east coasts closer together the land is less high and a gap forms between the Moehau Range and that to the south.
 - .2 In the west the land is generally relatively steep to the sea with minimal lowlands except in the valleys which extend back into the ranges such as that associated with the Umangawha Stream. In the east there are more extensive areas of lowland, hills and uplands. Waikawau Bay and to a lesser extent Port Charles to the north provide substantial areas of lowland and associated hills.
- .3 **Landcover**
Substantial areas of this planning area remain in mature and / or regenerating native vegetation. There are some generally smaller areas of exotic timber plantations, mainly pine, and generally on the flatter land adjacent to the coast extensive areas developed in pasture. Some of the steeper pastoral lands suffer from erosion.
- .4 **Land Use**
 - .1 Much of the area is public conservation land under management of the Department of Conservation. This provides for the protection of much of the native and regenerating bushland although some also remains in private ownership. Extensive pastoral farming is the main productive land use whilst some exotic forestry also occurs in small discrete locations. There are a number of small, remote settlement areas concentrated on the coast and valley areas these include; in the west: Papaaroha, Amodeo Bay, Waitete Bay, Colville, and Otautu Bay, and in the east: Stony Bay, Sandy Bay, Port Charles, Waikawau and Little Bay. This planning area is the most remote in the District with unsealed road access and sheer distance from population centres limiting access to the area. As a consequence, natural values are high and a real sense of isolation and remoteness prevails.
 - .2 In the far north-east between Fletcher Bay and Stony Bay the lack of a connecting road prevents vehicle access around the top of the Peninsula which further promotes the remoteness of this area. A pedestrian track is provided to connect these areas.
- .5 **Landscape Quality / Sensitivity**
 - .1 The relative lack of modification, low population density and natural beauty of this area combine to create a landscape of high quality and natural distinctiveness.
 - .2 Whilst high natural values and the relative scarcity of remote natural areas make this area sensitive to change which can have dominant landscape or visual effects such as exotic forestry or the construction roads, the area has considerable potential to absorb small-scale low-impact development which does not require improved access or services.
- .6 **Aesthetic Coherence**
The components of aesthetic coherence are:
 - .1 landform dominates
 - .2 sparsely settled
 - .3 winding unsealed roads
 - .4 little exotic forestry intruding
 - .5 nature dominates
 - .6 consistent vegetation cover of farmland and bush areas

.7

Pleasantness

The components of pleasantness are:

- .1 outstanding views and vistas of islands, coast, and mountains
- .2 remote, tranquil, spiritual
- .3 vast open spaces
- .4 no urban intrusion
- .5 high indigenous values

.8

Cultural and Recreational Attributes

The main cultural and recreational attributes are:

- .1 spiritual significance of Mt. Moehau
- .2 extensive archaeological and cultural places and sites
- .3 remote wilderness experiences
- .4 independent self- contained travellers
- .5 walking tracks, conservation management (Farm Park camping)
- .6 one main village (Colville)
- .7 large pastoral family farms
- .8 beaches
- .9 private camp grounds
- .10 small tourist ventures
- .11 communes

.9

Environmental Results Sought

The District Plan seeks to achieve the following environmental results:

- .1 land use activities are consistent with natural hazard management
- .2 commercial and industrial activities located in Colville
- .3 remote and wilderness experiences retained
- .4 protection of archaeological and heritage values

862 - Whangapoua Character Area

- .1 **Location**
This planing area incorporates the hydrological catchments of Kennedy Bay and Whangapoua Harbour as well as the north draining catchments of the broad Opito Bay Peninsula.
- .2 **Landform**
This area extends to the ranges in the west and incorporates large areas of upland and hill country. Lowland areas are contained in the valleys and around the harbour edge. The Omara Spit (Matarangi) is a large duneland spit.
- .3 **Landcover**
In the ranges and uplands there are extensive areas of contiguous indigenous bush whilst behind Matarangi and around the Whangapoua Harbour there are extensive areas of exotic pine plantation. Pastoral farming occupies much of the lowlands particularly adjacent to the harbour.
- .4 **Land Use**
Large areas of the indigenous forest of this planning area are protected under State Forest (DOC) ownership. Exotic pine plantations cover considerable areas particularly around the Whangapoua Harbour and behind Matarangi. The lowland areas are generally in pastoral farming particularly around the Whangapoua Harbour and Kennedy Bay where some marine farming also occurs. Whangapoua Beach and Matarangi are the main settlement areas whilst the more remote Tuatēawa in the north and Rings Beach, Gray's Beach, Kuaotunu West and Kuaotunu, Otama Beach and Opito form small holiday settlements in the south-east. From Kennedy Bay north the area becomes more remote and isolated. At Tuatēawa there is a bush settlement which provides for a number of bushlot houses.
- .5 **Landscape Quality / Sensitivity**
In general this area has a moderate landscape quality with higher values in the less modified coastal areas and indigenous forest covered ranges. The landscape sensitivity is moderate in more modified areas and high in those less modified areas. There is potential for well sited, designed and appropriately scaled development in most areas.
- .6 **Aesthetic Coherence**
 - .1 The main components of aesthetic coherence are:
 - (i) re- aligned, sealed roads
 - (ii) one main village and one main urban area
 - (iii) strong coastal influence
 - (iv) landform dominates
 - (v) farm buildings and settlements clustered
 - (vi) roads conform to landscape
 - (vii) boundaries of vegetation conform to landscape
 - (viii) clearly defined settlements
 - (ix) few buildings and consistent indigenous vegetation cover in the "forest park"
 - .2 And see Matarangi Structure Plan at Section 342.3 for Characteristics
 - (i) new development having compatible location, linkages, scale and range of activities with the existing development
 - (ii) built environment integrates with the natural environment
 - (iii) high ratio of open space to built environment trees are interspersed throughout the built environment
 - (iv) building design reflects the streetscape and character of the area
 - (v) mix of housing types and lot sizes
- .7 **Pleasantness**
 - .1 The components of pleasantness are:
 - (i) remoteness and open space of rural areas
 - (ii) outstanding views and vistas
 - (iii) sense of community belonging
 - (iv) indigenous values
 - (v) variety and diversity of scenic, remote, tranquil, spiritual and communal experiences in coastal areas
 - .2 And see Matarangi Structure Plan at Section 342.3 for Characteristics,
 - (i) attention to detail in lot design and location
 - (ii) use of landscaping and creation of landscape features
 - (iii) new development compatible with existing development
 - (iv) maintaining common identity
 - (v) buildings and structures softened by extensive planting

.8

Cultural and Recreational Attributes

- .1 The main cultural and recreational attributes are:
 - (i) large family farms
 - (ii) active and passive outdoor recreation
 - (iii) strong Maori associations, archaeological and historic sites
 - (iv) backdrop to coastal recreation
 - (v) small scale tourist ventures
 - (vi) indigenous natural settings around the coast
 - (vii) scenic qualities
 - (viii) scenic qualities of the coastal areas
 - (ix) buildings in the "forest park" serve conservation purposes of land, and outdoor recreation especially walking
 - (x) recreational use of the plantation forest areas
- .2 And see Matarangi Structure Plan at Section 342.3 for Characteristics,
 - (i) reserves providing recreational and open space values
 - (ii) new development set back from ocean beach and harbour
 - (iii) sense of identity or particular sense of place
 - (iv) choice of recreational opportunities available, the principal activity is the golf course
 - (v) visually attractive buildings, clusters of buildings designed comprehensively
 - (vi) community centre
 - (vii) strong Maori spiritual relationship with Matarangi Peninsula and coastal environs, archaeological sites
 - (viii) walkway networks across and around the Peninsula

.9

Environmental Results Sought

- .1 The District Plan seeks to achieve the following environment results:
 - (i) protection of remaining indigenous vegetation as visual backdrop and effective soil conservation
 - (ii) land uses managed to protect Whangapoua Harbour and coast
 - (iii) landform and indigenous vegetation continue to dominate the built environment in rural and coastal areas
 - (iv) scale and form of modification of the rural environment is in harmony with the natural environment
 - (v) ecosystems and ecological processes are protected
 - (vi) visual and spiritual values of the coastal environment are enhanced
 - (vii) modification of coastal areas through subdivision, development, and buildings are entirely appropriate, sympathetically designed, and necessary
 - (viii) only activities that serve the conservation purpose are undertaken in the "forest park"
 - (ix) stronger and larger endemic and indigenous ecosystems are developed in the "forest park"
 - (x) protection of archaeological and heritage values
- .2 And see Matarangi Structure Plan at Section 342.3 for Characteristics,
 - (i) preservation of the existing level of natural character experienced within the coastal environment surrounding the Peninsula
 - (ii) new development has compatible location, linkages, scale, and range of new activities with the existing resort
 - (iii) development does not detract from the efficient operation of the existing potable water supply, reticulated sewage and stormwater disposal systems, or the roading network
 - (iv) development maintains and enhances visual amenity and a "common identity"
 - (v) development does not detract from the scenic, spiritual, amenity and ecological significance of the Peninsulas coastal setting or the adjacent wildlife reserve
 - (vi) development recognises and protects the relationship with tangata whenua and the Matarangi Peninsula
 - (vii) development allows for the relocation and subsequent operation of the airstrip, sewage treatment and water storage in a manner which does not adversely affect the surrounding environment

863 - Coromandel Character Area

- .1 **Location**
This planning area occupies part of the west coast of the Peninsula from Hautapu Point in the north down to Wilson Bay in the south.
- .2 **Landform**
The distinctive landform feature of this planning area is its long relatively thin headland peninsulas which extend westward creating the Coromandel, Te Kouma and Manaia harbours. In addition there are a large number of islands beyond the peninsula headlands including Motuoruhi, Motukopake, Waimate, Motutapere, Whanganui, Rangipukea and Wekarua. The planning area contains the hydrological catchments of these harbours and extends to the ranges in the east. Castle Rock at 526 metres is one of the high points of this part of the range.
- .3 **Landcover**
The ranges tend to retain their native vegetation although exotic pine extends up into the ranges and foothills in a number of areas. The lowlands, valley floors and peninsula headlands are generally in pasture of varying quality. The harbour margins have some extensive areas of mangroves and saltwater wetlands. Mussel and oyster farms are frequent around the coastline.
- .4 **Land Use**
Historically this area was a focus for gold mining and much of the pattern of subdivision in the settled areas still relates to that earlier era when much larger populations lived in the area. Nowadays pastoral and marine farming provide the main activities although there are some areas of exotic forestry. The area retains a close pattern of settlement with many small settlements and individual houses within the rural area. Whilst Coromandel remains the main town there are significant settled areas on the Wyuna Bay and Te Kouma Peninsulas.

State Highway 25 extends up almost to Coromandel before winding over the ranges to Whangapoua. Further north access to Kennedy Bay in the east is provided by the road which winds up and over the Tokotea whilst to the south of Coromandel the 309 Road also connects to the east coast.

The headland peninsulas are partially accessed by roads with the Manaia and Te Kouma headlands accessed only on their northern sides for approximately half their length whilst the narrower Wyuna Bay Peninsula is accessed to all but the furthest end.
- .5 **Landscape Quality / Sensitivity**
This planning area has a relatively high level of general rural settlement on its flatter lands which provide a context for further sensitive development and the opportunity for landscape enhancement. Much of the ranges are more remote and those areas with intact indigenous vegetation provide an important natural backdrop to the settled lowlands and valley floors. Much of the vegetation which provides an important backdrop to the Coromandel township itself comprises pine and other exotic species. Much of this has grown and regenerated since the area ceased to be mined. Such vegetation provides an important context and backdrop to the settled areas of the planning area. Roading cuts, particularly on SH 25 Whangapoua hill section are a significant visual scar in the landscape and would benefit from rehabilitation works. The headland peninsulas are an important visual element of the area and require sensitive management. In general the area has a low to moderate visual quality with opportunities for enhancement. Sensitivity is also generally moderate to low although higher in the more highly visible and more natural localities, both on the coast and in the ranges.
- .6 **Aesthetic Coherence**
 - .1 The components of aesthetic coherence are:
 - (i) landform dominates
 - (ii) closely settled rural area characterised by small-scale buildings
 - (iii) Maori settlement at Manaia; Kennedy Bay not far away
 - (iv) use of natural resources in the rural areas
 - (v) clearly defined coastal settlements
 - (vi) roads conform to landscape
 - (vii) boundaries of vegetation relate to the natural and physical environment
 - (viii) consistent indigenous vegetation cover and few buildings in the "forest park"
 - .2 And in Coromandel:
 - (i) built environment integrates with the natural environment
 - (ii) buildings and structures in harmony with the natural or built environment of the locality
 - (iii) trees interspersed throughout
 - (iv) building design reflects the streetscape and character of the area
- .7 **Pleasantness**
 - .1 The components of pleasantness are:
 - (i) sense of community belonging
 - (ii) open space
 - (iii) outstanding views and vistas
 - (iv) indigenous values
 - (v) remoteness in the "forest park" areas
 - (vi) variety and diversity of scenic, experiences
 - (vii) variety of remote, tranquil, spiritual and communal experiences
 - .2 And in Coromandel:
 - (i) attractive streetscapes
 - (ii) vibrant town centres
 - (iii) housing areas
 - (iv) public spaces
 - (v) landscape planting
 - (vi) heritage resources
 - (vii) scenic backdrops
- .8 **Cultural and Recreational Attributes**
 - .1 The main cultural and recreational attributes are:
 - (i) family and iwi based farms and enterprises
 - (ii) small-scale tourist ventures; emphasis on arts and crafts
 - (iii) pa sites and urupa
 - (iv) extensive part-time farming
 - (v) active and passive recreation, especially outdoor recreation in the "forest park"
 - (vi) "alternative" lifestyles

- (vii) buildings in the "forest park" serve conservation and recreation purposes of land
- (viii) archaeological and cultural sites
- .2 And in Coromandel:
 - (i) reserves provide active and passive recreation opportunities
 - (ii) sense of identity or particular sense of place
 - (iii) visually attractive buildings
 - (iv) heritage values
 - (v) wide ranging commercial and industrial activities
- .9 **Environmental Results Sought**
 - .1 The District Plan seeks to achieve the following environmental results:
 - (i) strong natural, historic and cultural character (Maori and alternative lifestyle) protected
 - (ii) indigenous vegetation retained in rural and "forest park" areas
 - (iii) landform and indigenous vegetation continues to dominate the built environment
 - (iv) scale and form of modification of the environment is in harmony with the natural environment
 - (v) ecosystems and ecological processes are protected and strengthened
 - (vi) visual and spiritual values of the coastal environment are retained
 - (vii) modification of coastal areas through subdivision, development, and buildings are entirely appropriate, sympathetically designed, and necessary
 - (viii) protection of archaeological and heritage values
 - .2 And in Coromandel:
 - (i) high amenity streetscapes and open spaces
 - (ii) built environment enhances urban amenity values
 - (iii) houses among trees, shrubs, and other vegetation

864 - Whitianga Character Area

1. **Location**
This planning cell is the largest in the District and encompasses the hydrological catchments of the Whitianga Harbour, Cooks Beach Estuary, Hahei and Hot Water Beach.
2. **Landform**
Similar to the Tairua area this planning area incorporates extensive areas of upland hills as well as rolling hill country. It extends to the Coromandel Ranges in the west and encompasses the south draining slopes of the broad Opito Bay Peninsula. The planning area contains significant areas of lowland adjacent to the harbours and estuaries and within a broad valley which extends up the Whenuakite River. This valley and the large plain of Whitianga are formed from undifferentiated alluvium.
3. **Landcover**
Areas of intact indigenous vegetation remain within the ranges and in pockets throughout the area which is in the majority developed for pastoral farming and in grassland. There are some extensive pockets of exotic pine forest mainly in the south.
4. **Land Use**
 - .1 Pastoral farming is the principal land use in this area. Around the coast there are a series of settlements interspersed with more remote rocky and cliff coastlines. Settlements include Hot Water Beach, Hahei, Cooks Beach, Whitianga (including Buffalo Beach and Ohuka Beach), Wharekaho Beach and (accessed from the north) the remote Matapau Bay. In addition to these coastal settlements there are a number of small rural settlements including Whenuakite, and Coroglen.
 - .2 There is an extensive network of roads in the area with SH 25 extending around the broad sweep of the Whitianga Harbour, and side roads extending up the valleys including a number which connect as public or forestry roads to the west of the peninsula. The following roads:
 - (i) Boat Harbour Road
 - (ii) Rangihau Road
 - (iii) Kapowai Road
 - (iv) Mill Creek Road
 - (v) Matapau Bay Road
 - (vi) Kaimarama Road
 - (vii) Cupps Road
 - (viii) Old coach Road
 - (ix) Carey Road
 pass through areas with high landscape quality. The coastline east of Wharekaho Beach is without road access, and is remote.
5. **Landscape Quality / Sensitivity**
In general this planning area has a moderate landscape quality with low to moderate sensitivity. The more remote and unmodified areas generally have a higher landscape quality and greater sensitivity whilst the rural areas are more robust and accepting of further landscape change. Many of the rural areas have an attractive pattern of development including exotic woodlots and shelter belts and remnant native vegetation which create quality rural landscapes. These complement the natural bush and coastal environments of the planning area which also have high landscape and visual quality and sensitivity.
6. **Aesthetic Coherence**
 - .1 The components of aesthetic coherence are:
 - (i) highly modified on the lowlands
 - (ii) natural landscape dominates the highlands
 - (iii) landform dominates
 - (iv) farm buildings and settlements clustered
 - (v) roads conform to the landscape
 - (vi) boundaries of vegetation conform to the landscape
 - (vii) clearly defined settlements around the coast
 - (viii) a continuous cover of indigenous vegetation including contiguous vegetation of conservation areas and indigenous vegetation on private land dominate the area
 - (ix) few buildings in the "forest park"
 - .2 And in Whitianga:
 - (i) built environment integrates with the natural environment
 - (ii) buildings and structures in harmony with the natural or built environment of the locality
 - (iii) trees are interspersed throughout the built environment
 - (iv) building design reflects the streetscape and character of the area

7. **Pleasantness**

- .1 The components of pleasantness are:
 - (i) open space
 - (ii) sense of a small rural community, and belonging
 - (iii) outstanding views and vistas
 - (iv) indigenous values
 - (v) remoteness in rural areas
 - (vi) variety and diversity of scenic, remote, tranquil, spiritual and communal experiences in coastal areas, and in the "forest park"
- .2 And in Whitianga:
 - (i) streetscapes
 - (ii) vibrant town centre
 - (iii) housing areas
 - (iv) public spaces
 - (v) landscape planting
 - (vi) heritage resources
 - (vii) scenic backdrop
 - (viii) close links with harbour
 - (ix) surf and harbour beaches

.8 **Cultural and Recreational Attributes**

- .1 The main cultural and recreational attributes are:
 - (i) dairy farms
 - (ii) intensive horticulture
 - (iii) small scale family owned tourist ventures
 - (iv) lifestyle conservation blocks
 - (v) one main rural village
 - (vi) proximity to Mercury Bay resorts and tourist destinations
 - (vii) main highway links
 - (viii) active and passive outdoor recreation
 - (ix) archaeological and historical sites around the coast
 - (x) scenic qualities of the coastal areas
 - (xi) buildings in the "forest park" serve conservation purposes of land and outdoor recreation especially walking
- .2 And in Whitianga:
 - (i) reserves and beaches provide recreational opportunities
 - (ii) sense of identity or particular sense of place
 - (iii) choice and opportunities available
 - (iv) visually attractive buildings
 - (v) heritage values
 - (vi) wide range of commercial and light industrial activities

.9 **Environmental Results Sought**

- .1 The District Plan seeks to achieve the following environment results:
 - (i) high quality soils sustained
 - (ii) natural landscape dominates the highlands
 - (iii) small scale clustered development contained on the lowlands
 - (iv) the landform and indigenous vegetation continue to dominate the built environment in rural areas
 - (v) ecosystems and ecological processes around the coast are protected
 - (vi) visual and spiritual values of the coastal environment are enhanced
 - (vii) modification of coastal areas through subdivision, development, and buildings are entirely appropriate, sympathetically designed, and necessary
 - (viii) only activities that serve the conservation purpose are undertaken in the "forest park"
 - (ix) stronger and larger endemic and indigenous ecosystems are developed in the "forest park"
 - (x) protection of archaeological and heritage values
- .2 And in Whitianga:
 - (i) high amenity streetscapes and open spaces
 - (ii) built environment enhances urban amenity values
 - (iii) houses among trees, shrubs and vegetation throughout urban area
 - (iv) mitigation of the adverse environment effects of the State Highway 25 road through Whitianga (Albert Street) through the construction of a heavy vehicle alternative road
 - (v) adequate management of coastal erosion processes at Buffalo Beach and at Brophy's Beach
 - (vi) harbour management which provides for a wide range of boating and other community uses and maintains or enhances natural aquatic ecosystems and processes

865 - Thames Character Area

- .1 **Location**
This planning area occupies part of the base of the Coromandel Peninsula on its west side and forms the eastern edge to the Firth of Thames. It extends from Wilson Bay in the north to the Waihou River mouth in the south. It incorporates the hydrological catchment of the Kauaeranga river and north of this the catchments of a series of short rivers which drain to this western coast.
- .2 **Landform**
This planning area typically has a narrow coastal edge with the hills, uplands and ranges grading sharply to the sea. There is a regular pattern of rivers and valleys running westward, these include Otakeao Stream, Waikawau River, Te Mata River, Tapu River, Te Puru Stream, Tararu Stream, and the Kauaeranga River. Many of these have small alluvial outwash plains at the river mouth forming small flat areas adjacent to the coast; those at Tararu and Te Puru are typical of these. Table Mountain and The Pinnacles form part of the ranges and skyline of this planning area.
- .3 **Landcover**
Significant areas of native bush remain in this character area with clearance generally restricted to the valley floors and more gentle side slopes. Along the rocky coastline there is a good pattern of mature pohutukawa which contributes to the character of the planning area.
- .4 **Land Use**
Much of the Coromandel Range remains afforested with indigenous forest and is protected by the State Forest Park (DOC). Settlement is generally restricted to the thin coastal edge and valley environments with some extensive pastoral farming. The larger valleys such as the Kauaeranga which is dominated by the meandering river alignment have a highly attractive rural character with a good proportion of tree cover and visual containment afforded by the adjacent ranges.

Settlement follows a regular pattern being generally located either at the river mouths along the coast often on small outwash plains formed from alluvium or within the valleys. Thames, the major town of the District, follows this pattern being located at the mouth of the Kauaeranga River although the Moanataiari, Karaka, Hape, Herewaka and Waikiekie Streams flow through the township.

Roading is generally concentrated in proximity to the coast with SH 25 closely following the coastline over the full length of the planning area. Short lengths of road extend up a number of the river valleys into the ranges. The main one of these is the Kauaeranga Valley from the end of which walking tracks provide access into the ranges and to the Pinnacles in particular. At Tapu, the Tapu Coroglen Road provides access to the west.
- .5 **Landscape Quality and Sensitivity**
The vegetated ranges flowing to the coastline and the generally high natural character (modified by the road alignment and settlement) of the coastal environment contribute to the moderate to high landscape quality of this planning area which is relatively sensitive to landscape change. Small-scale modification associated with existing settlements and in the enclosed valley environments could be integrated without difficulty if well located and designed. The vegetative backdrop is important in providing a context and enclosure to settlements and requires protection. This is particularly true for Thames where mixed exotic and native vegetation has re-established following almost total deforestation during the mining era. The following roads pass through areas which have high landscape quality:
 - .1 Waiomu Creek Road
 - .2 Tararu Creek Road
 - .3 Te Puru Creek Road
 - .4 Waikawau Valley Road
- .6 **Aesthetic Coherence**
 - .1 The components of aesthetic coherence are:
 - (i) landform dominates
 - (ii) closely settled valley floors characterised by small scale buildings
 - (iii) sealed roads with close connection with urban and coastal settlements
 - (iv) boundaries of vegetation conform to landscape
 - (v) clearly defined coastal settlements
 - (vi) landform, and a continuous native vegetation cover on contiguous conservation areas and private land in which there is a scarcity of buildings
 - .2 And in Thames:
 - (i) built environment integrates with the natural environment
 - (ii) buildings and structures in harmony with the natural or built environment of the locality
 - (iii) trees are interspersed throughout the built environment
 - (iv) building design reflects the streetscape and character of the area

.7

Pleasantness

- .1 The components of pleasantness are:
 - (i) views and vistas of the coast
 - (ii) established pastoral farming and sparsely settled hill country
 - (iii) maturing small lot farming on valley floors
 - (iv) access to rivers and river margins
 - (v) sense of community belonging
 - (vi) indigenous values
 - (vii) opportunities for remote and tranquil recreation experiences in "forest park"
- .2 And in Thames:
 - (i) streetscapes
 - (ii) vibrant town centre
 - (iii) housing areas
 - (iv) public spaces
 - (v) landscape planting
 - (vi) heritage resources
 - (vii) scenic backdrops

.8

Cultural and Recreational Attributes

- .1 The main cultural and recreational attributes are:
 - (i) active outdoor recreation
 - (ii) some small- scale tourist ventures
 - (iii) major access points to forest park (Tapu, Waiomu, Te Puru, Kauaeranga Valley)influence international and national significance
 - (iv) walking tracks, conservation management
 - (v) backdrop to coastal settlements
 - (vi) family and iwi based farms and enterprises
 - (vii) pa sites and urupa
 - (viii) part- time farming
 - (ix) indigenous natural settings along the coast
 - (x) scenic qualities of the coast
- .2 And in Thames:
 - (i) reserves provide recreational opportunities
 - (ii) Rhodes Park important to whole District
 - (iii) Airfield
 - (iv) sense of identity or particular sense of place
 - (v) choice and opportunities available
 - (vi) visually attractive buildings, especially heritage buildings
 - (vii) heritage values
 - (viii) wide ranging commercial and significant industrial activities; car factory, foundry, timber processing, fish processing, house building

.9

Environmental Results Sought

- .1 The District Plan seeks to achieve the following environment results:
 - (i) landuse activities are consistent with natural hazard management
 - (ii) strong natural, historic and cultural character (Maori and alternative lifestyle)protected
 - (iii) indigenous vegetation retained in rural and "forest park" areas
 - (iv) landform and indigenous vegetation continues to dominate the built environment
 - (v) scale and form of modification of the environment is in harmony with the natural environment
 - (vi) ecosystems and ecological processes are protected and strengthened

866 - Tairua Character Area

- .1 **Location**
This planing cell is located on the east side of the Peninsula and encompasses the hydrological catchment of the Tairua Harbour. It extends southward to lie between the Puriri area to the west and Whangamata area to the east and forms a small component of the southern District boundary.
- .2 **Landform**
This area comprises a single large and dissected valley system which feeds the Tairua River and Harbour. It extends west to the Coromandel Ranges and includes the areas of Broken Hills and Neavesville. The catchment contains a wide valley floor much of it below the 20 metre contour with the Tairua River forming a meandering feature of this landscape. Extensive low lying and wetland areas exist around the top of the harbour including the area now reclaimed for the Pauanui Canal housing development. At the mouth of the harbour Pauanui on the south side is formed on a large duneland spit whilst to the north the dramatic volcanic cone of Paku provides enclosure. This is joined to the mainland by a duneland spit landform. The northern part of the Tairua settlement is also built on a duneland landform.
- .3 **Landcover**
Exotic pine plantations generally form the dominant landcover in this area although further up the valley into the hills and uplands and on the valley floor there is extensive pastoral farming. In the ranges there are some extensive areas of indigenous forest.
- .4 **Land Use**
Exotic plantation forestry and pastoral farming together dominate this area. Toward the coast at Pauanui, Tairua and Paku there are significant settlements which accommodate both permanent residents and large transient holiday populations.
The Kopu Hikuai Road (SH 25) runs through this area providing access from the west and extends northward out of the area.
- .5 **Landscape Quality and Sensitivity**
This planning area is highly modified both in terms of productive land use - forestry / farming and in terms of urban development which is clustered around the harbour mouth adjacent to the coast. The area has a moderate to low visual quality in general and moderate sensitivity with good opportunities to enhance landscape and visual values through appropriate remediation (including revegetation of sensitive areas) and mitigation associated with development. The Hikuai and Pukeui Valleys are sensitive areas with the potential for landscape enhancement.
- .6 **Aesthetic Coherence**
 - .1 The components of aesthetic coherence are:
 - (i) landform dominates
 - (ii) settlements clustered
 - (iii) indigenous values
 - (iv) roads conform to landscape
 - (v) boundaries of vegetation conform to landscape
 - (vi) clearly defined settlements
 - (vii) buildings are rare in the "forest park" and there is consistent indigenous vegetation cover
 - .2 And in Tairua and Pauanui:
 - (i) built environment integrates with the natural environment
 - (ii) buildings and structures in harmony with the natural or built environment of the locality
 - (iii) trees are interspersed throughout the built environment
 - (iv) building design reflects the streetscape and character of the area
- .7 **Pleasantness**
 - .1 The components of pleasantness are:
 - (i) open space
 - (ii) outstanding views and vistas
 - (iii) remoteness in the rural areas
 - (iv) diversity of scenic experiences in rural and coastal areas and in the "forest park"
 - (v) sense of community belonging
 - (vi) indigenous values
 - (vii) variety of remote, tranquil, spiritual and communal experiences possible in coastal areas
 - .2 And in Tairua and Pauanui:
 - (i) streetscapes
 - (ii) vibrant town centres
 - (iii) housing areas
 - (iv) public spaces and existing reserves
 - (v) landscape planting
 - (vi) heritage resources
 - (vii) scenic backdrops
 - (viii) harbour settings

.8

Cultural and Recreational Attributes

- .1 The main cultural and recreational attributes are:
 - (i) farming
 - (ii) small scale tourist ventures
 - (iii) outdoor recreation
 - (iv) land administered by Department of Conservation
 - (v) main State highway transport links
 - (vi) pa sites and urupa, archaeological and historic sites
 - (vii) active and passive outdoor recreation
 - (viii) scenic qualities, especially of the coastal areas
 - (ix) buildings in the "forest park" serve conservation purposes of land, and outdoor recreation walking
- .2 And in Tairua and Pauanui:
 - (i) reserves and beaches provide recreational and open space opportunities
 - (ii) sense of identity or particular sense of place
 - (iii) choice and opportunities available
 - (iv) visually attractive buildings
 - (v) heritage values
 - (vi) wide range of commercial and light industrial activities

.9

Environmental Results Sought

- .1 The District Plan seeks to achieve the following environmental results:
 - (i) high quality soils sustained
 - (ii) natural landscape dominates the highlands
 - (iii) small-scale clustered development contained in the lowlands
 - (iv) scale and form of modification of the environment is in harmony with the natural environment
 - (v) ecosystems and ecological processes in the coastal areas are protected
 - (vi) visual and spiritual values of the coastal environment are enhanced
 - (vii) modification of coastal areas through subdivision, development, and buildings are entirely appropriate, sympathetically designed, and necessary
 - (viii) only activities that serve the conservation purpose are undertaken in the "forest park"
 - (ix) stronger and larger endemic and indigenous ecosystems are developed in the "forest park"
 - (x) protection of archaeological and heritage values
- .2 And in Tairua and Pauanui:
 - (i) high amenity streetscapes and open spaces
 - (ii) built environment enhances urban amenity values
 - (iii) houses among trees, shrubs and vegetation throughout urban area
 - (iv) mitigation of the adverse environment effects of the State Highway 25 road through Tairua
 - (v) adequate management of coastal erosion processes at Tairua Ocean Beach and at Pauanui
 - (vi) harbour management which provides for a wide range of boating and other community uses if maintaining or enhancing natural ecosystems of the coastal environment and marine area
 - (vii) maintenance and enhancement of existing reserves, including the protection of public access and open space values

867 - Whangamata Character Area

- .1 **Location**
This planning area occupies the south-eastern corner of the district and adjoins Western Bay of Plenty District to the south. It extends to Ohui in the north and encompasses the hydrological catchments which feed the Whangamata and Wharekawa Harbours.
- .2 **Landform**
This planning area has a varied topography with a small range including the Peak Puketaiko (586 metres) forming the western boundary. There are extensive areas of upland landform (300 metres down to 100 metres). Between the Wharekawa and Whangamata Harbours there is an area of flatland plain which adjoins a crescent shape hill country landform along the coastal edge. Opoutere Beach, north of Wharekawa Harbour, and Whangamata are large duneland landforms.
There are a number of distinct cone shaped hills such as Rangipo (223 metres) near Wharekawa which give this area a distinctive character.
- .3 **Landcover**
There are extensive areas of pine plantation in the upland and hill country areas of this planning area with more intact indigenous vegetation in the steeper, higher ranges. Old kauri dams bear testimony to the extraction of timber in earlier times on this part of the peninsula. The lowlands and some small areas of the more elevated country are in pastoral land uses, with some horticulture.
- .4 **Land Use**
Exotic forestry with pine and some other species such as eucalyptus is the predominant land use within this planning area. Pastoral farming predominates on the lowland areas. The significant urban area of Whangamata lies within this area and is a major holiday destination and small permanent town. Other settlements in this area include Onemana and Opoutere.
- .5 **Landscape Quality / Sensitivity**
This area has a strong pattern of development but retains a dramatic and in places largely unmodified coastline with sandy beaches, rocky outcrops and headlands and estuaries. It has a moderate landscape quality overall and retains the potential for sensitive development. The Wentworth Valley is a rural landscape particularly sensitive to development. It serves as an entrance to the Forest Park and the road is unsealed to retain the remoteness of the value. In the urban area of Whangamata the built dominance of houses on this flat dune landform would be improved with additional planting of street trees and within reserve areas.
- .6 **Aesthetic Coherence**
 - .1 The components of aesthetic coherence are:
 - (i) highly modified landscape except in coastal locations, such as Ohui and Opoutere
 - (ii) landform dominates the mountains, built environment dominates the lowlands
 - (iii) farm buildings and settlements clustered
 - (iv) roads conform to landscape
 - (v) boundaries of vegetation conform to landscape
 - (vi) buildings are rare in the "forest park" and there is consistent indigenous vegetation
 - .2 And in Whangamata:
 - (i) built environment integrates with the natural environment
 - (ii) buildings and structures in harmony with the natural and built environment of the locality
 - (iii) trees are interspersed throughout the built environment
 - (iv) building design reflects the streetscape and character of the area
- .7 **Pleasantness**
 - .1 The components of pleasantness are:
 - (i) outstanding views and vistas
 - (ii) variety and diversity of scenic experiences
 - (iii) open space
 - (iv) sense of community belonging
 - (v) indigenous values in the "forest park"
 - (vi) variety of remote, tranquil, spiritual and communal experiences in coastal areas and in the "forest park"
 - (vii) distinctive cone shaped hills
 - .2 And in Whangamata:
 - (i) streetscapes
 - (ii) vibrant town centre
 - (iii) housing areas
 - (iv) public spaces
 - (v) landscape planting
 - (vi) heritage resources
 - (vii) scenic backdrops
 - (viii) close links with harbour
 - (ix) surf and estuary beaches

.8

Cultural and Recreational Attributes

- .1 The main cultural and recreational attributes are:
 - (i) pockets of intensive agricultural and horticultural activities
 - (ii) near to land administered by Department of Conservation
 - (iii) high tourist use of area, active and passive outdoor recreation, boating
 - (iv) main state highway transport links
 - (v) limited public access along coastal margins
 - (vi) small-scale tourist ventures
 - (vii) pa sites and urupa, archaeological and historic sites
 - (viii) indigenous natural settings along the coast
 - (ix) scenic qualities of the coast
 - (x) buildings in the "forest park" serve conservation purposes of land, and outdoor recreation especially walking
- .2 And in Whangamata:
 - (i) reserves and beaches provide recreational opportunities
 - (ii) sense of identity or particular sense of place
 - (iii) choice and opportunities available
 - (iv) visually attractive buildings
 - (v) heritage values
 - (vi) wide ranging commercial and light industrial activities
 - (vii) boating and harbour use

.9

Environmental Results Sought

- .1 The District Plan seeks to achieve the following environmental results:
 - (i) the mountains and backdrops continue to dominate the modified landscape
 - (ii) scale and form of developments in rural areas are in harmony with the natural environment
 - (iii) ecosystems and ecological processes are protected
 - (iv) visual and spiritual values of the coastal environment are enhanced
 - (v) modification of coastal areas through subdivision, development, and buildings are entirely appropriate, sympathetically designed, and necessary
 - (vi) only activities that serve the conservation purpose are undertaken in the "forest park"
 - (vii) stronger and larger endemic and indigenous ecosystems are developed in the "forest park"
 - (viii) adequate management of land erosion processes to protect the 'Whangamata' and 'Wharekawa' harbours
 - (ix) protection of archaeological and heritage values
- .2 And in Whangamata:
 - (i) high amenity streetscapes and open spaces
 - (ii) built environment enhances urban amenity values
 - (iii) houses among trees, shrubs and vegetation, and more tree planting throughout urban area
 - (iv) adequate management of coastal erosion processes at Whangamata Beach
 - (v) harbour management which provides for a wide range of boating and other community uses.

868 - Puriri Character Area

- .1 **Location**
This planning area is one of the smaller of the District. It is located in the south-western corner below Thames and extends to the District boundary (with Hauraki) in the south.
- .2 **Landform**
This planning area contains the one area of distinctly different landform within the District. This is the corner of the Hauraki Plain which extends from the east bank of the Waihou River toward the foot slopes of the Coromandel Range. The remainder of the planning area contains the westward draining slopes of the Ranges and includes the small catchments of the Kirikiri, Matatoki, Kotorepupuai, Apakura, Omahu and Onetai Streams.
- .3 **Landcover**
Whilst some indigenous bush remains within the Ranges, the plains, lower slopes of the ranges and valleys of this area are pastoral. Along the wide meandering course of the Waihou River there are some wetland areas and small patches of remnant indigenous lowland vegetation.
- .4 **Land Use**
The flat contour and good soils of the plain facilitates pastoral farming which dominates in this area. The natural watercourses and gullies are generally well vegetated and provide a strong pattern and context for existing development. SH 26 to Paeroa traverses the area and there are a number of small rural settlements at cross roads including Kopu, Matatoki and Puriri. Roads extend both west and east from the State Highway with those to the west being straight and linear due to the easy contour whilst those to the east wind up the stream valleys with a more sinuous alignment. The roads to the east lead to the Forest Park or to remote areas within high indigenous values.
- .5 **Landscape Quality and Sensitivity**
The existing level of development within this area, strong pattern of existing mature vegetation and lack of more sensitive coastal environments provide opportunities for sensitively located and designed development. The rural landscape is generally of high quality due to the strong pattern of vegetation and enclosing ranges to the east with their dramatic skyline and rock outcrops.
- .6 **Aesthetic Coherence**
The components of aesthetic coherence are:
 - .1 settlements clustered
 - .2 river based activities
 - .3 highly modified lowlands
 - .4 indigenous values
 - .5 in the "forest park" nature and landform dominate and buildings are rare, and there is a consistent indigenous vegetation cover
- .7 **Pleasantness**
The components of pleasantness are:
 - .1 sense of small rural communities
 - .2 open space
 - .3 rolling foothills with indigenous vegetation on ranges
 - .4 indigenous values of "forest park" area
 - .5 remote and tranquil recreation opportunities in "forest park"
- .8 **Cultural and Recreational Attributes**
 - .1 intensive farming activities
 - .2 Maori owned land
 - .3 iwi based enterprises
 - .4 fish and game and four wheel drive recreation activities
- .9 **Environmental Results Sought**
 - .1 the natural landscape continues to dominate the backdrop
 - .2 the high quality soils are protected from degradation
 - .3 remote and wilderness experiences retained
 - .4 archaeological and heritage sites protected
 - .5 stronger and larger endemic and indigenous ecosystems
 - .6 protection of archaeological and heritage values

